



## BYLAW 2024 - 11

### A BYLAW OF THE MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124 IN THE PROVINCE OF ALBERTA, FOR THE PURPOSE OF ESTABLISHING THE LAWRENCE LAKE AREA STRUCTURE PLAN

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**WHEREAS** the Council of the Municipal District of Lesser Slave River No. 124 considers it necessary to adopt, in accordance with Sections 633 and 636 of the *Municipal Government Act*, RSA 2000, the Lawrence Lake Area Structure Plan, being Bylaw No. 2024-11 and amendments thereto, to specify policy and regulatory direction of the lands within NW-24-69-25-W4M and portion of SW -24-69-25-W4M.

**WHEREAS** the Council of the Municipal District of Lesser Slave River No. 124 deems it appropriate to incorporate in a statutory plan adopted pursuant to the *Municipal Government Act* the findings of accompanying studies.

**WHEREAS** the Council of the Municipal District of Lesser Slave River No. 124 deems it advisable to adopt the Lawrence Lake Area Structure Plan, being bylaw 2024-11, so that it clearly and effectively serves as a basis for the multi-lot subdivision.

**NOW THEREFORE** the Council of Municipal District of Lesser Slave River No. 124 in the Province of Alberta, duly assembled, hereby enact Bylaw 2024-11 Lawrence Lake Area Structure Plan as follows:

1. That Schedule A Attached hereto be adopted as the Lawrence Lake Area Structure Plan being Bylaw 2024-11.

This Bylaw takes effect immediately after third reading and upon being signed.

**READ** for a first time this 8<sup>th</sup> day of May 2024.

**READ** for a second time this 26<sup>th</sup> day of June 2024.

**READ** for a third and final time this 26<sup>th</sup> day of June 2024.

Signed and date this 27<sup>th</sup> day of June 2024.

\_\_\_\_\_"Original Signed"\_\_\_\_\_

Murray Kerik, Reeve

\_\_\_\_\_"Original Signed"\_\_\_\_\_

Barry Kolenosky, Chief Administrative Officer



# BYLAW 2024 - 11

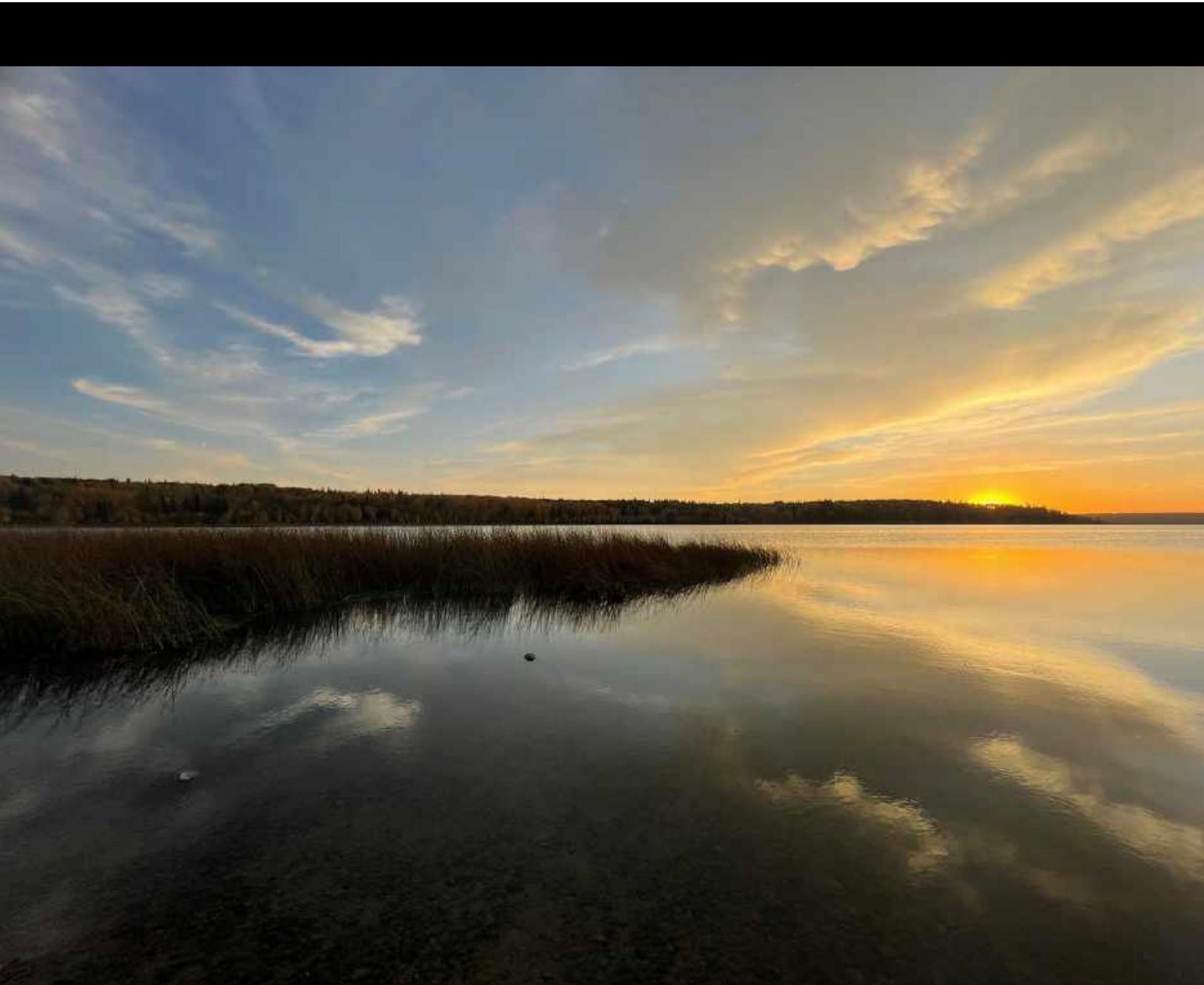
Schedule "A"

# E1NS



Lesser Slave River

## LAWRENCE LAKE AREA STRUCTURE PLAN



# E1NS

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## **1.0 INTRODUCTION**

### **1.1 Purpose and Location**

The Lawrence Lake Area Structure Plan (ASP) consists of 16.1 hectares (39.8 acres) of land located on the eastern edge of Lawrence Lake in the M.D. of Lesser Slave River No. 124 as identified in Figure 1. The Plan Area consists of NW-24-69-25-W4M, as well as a portion of SW-24-69-25-W4M (additional 2.4 hectares) used for public access, which was approved under a previous subdivision (23-S-04). Lawrence Lake defines the north and west boundaries, while SW-24-69-25-W4M bounds the south and NE-24-69-25-W4M bounds the east. The property is zoned Residential Un-serviced District (RUS).

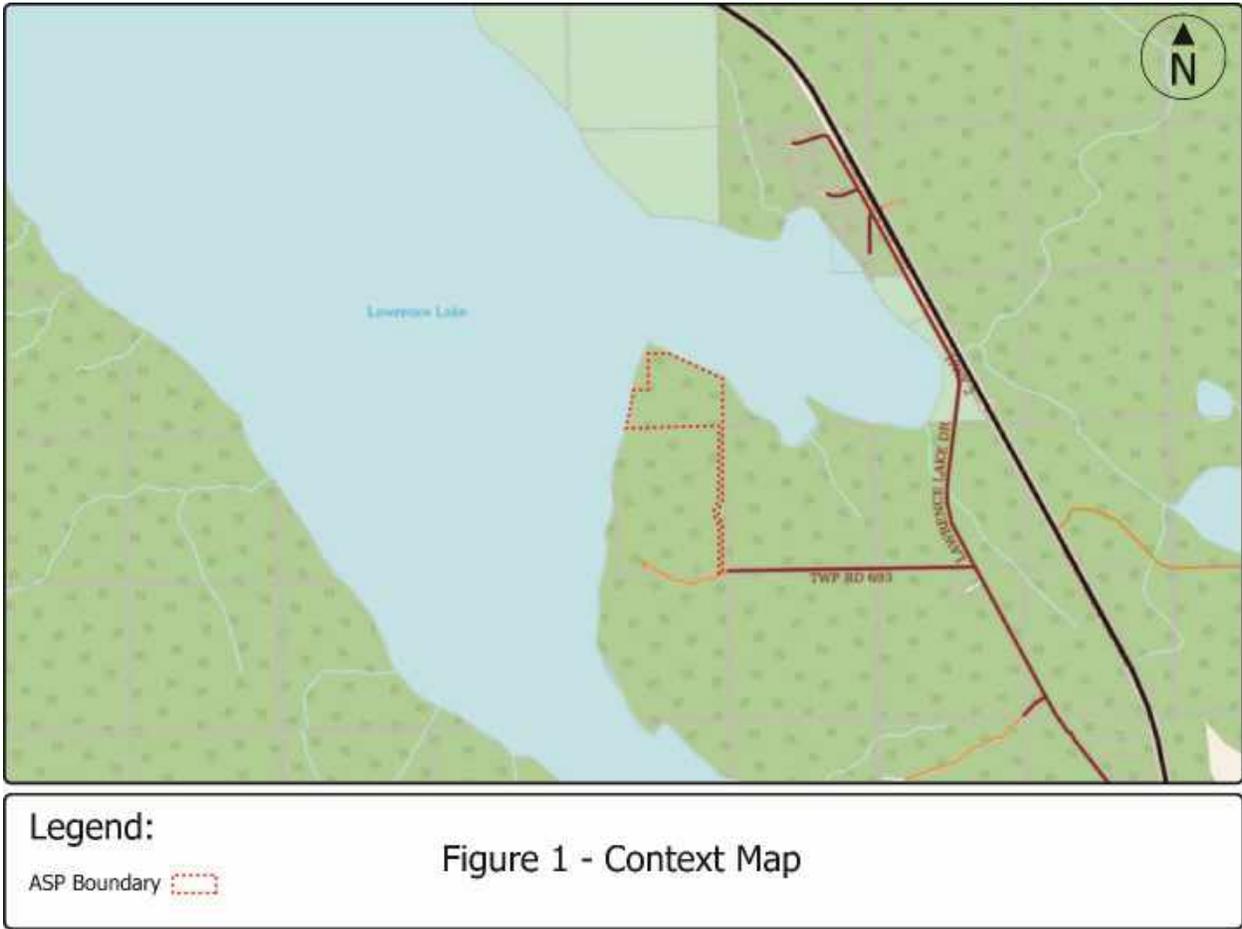
The purpose of this ASP is to provide a planning framework to act as a general guide for logical and compatible development of this property for primarily the use of seasonal cabins. This plan will address development issues comprehensively to effectively coordinate the technical and aesthetic aspects of land development to ensure orderly growth within the site and surrounding areas. This ASP was prepared in accordance with any applicable statutory plans and specific policy that the Lawrence Lake ASP conforms with is discussed under Section 4: Statutory Plan Review.

## **2.0 CONTEXT AND SITE CONDITIONS**

### **2.1 Existing and Surrounding Land Uses**

Figure 1 shows the current land use districting for the site as well as the surrounding lands and districts surrounding the site. The immediate surrounding lands are currently undeveloped and noted as Crown Land District.

# E1NS



## 2.2 Physical Features of Plan Area

The lands within the ASP have a pronounced elevation difference from south to north/northwest with drainage overland towards Lawrence Lake. The elevation difference is as much as 28m from the southern edge of the ASP lands to the water level of Lawrence Lake. Figure 2 shows the existing contours on the subject ASP lands. A Geotechnical Investigation Report was completed by PrycoGlobal to determine if the soil conditions would be suitable for the proposed structures. Borehole drilling was done on-site over 7 days and found that the site is suitable for the construction of the foundation of the proposed structures and that the groundwater will not be a concern for the design and construction of foundations for buildings.

# E1NS



## Legend:

- Site Boundary - 
- Contours - 

Figure 2 - Topography Map

# E1NS

The vegetation on the property is predominantly comprised of mature tree stands with a small wetland in the future access roadway alignment observed that is intended to be preserved by having the roadway wind around. A Biophysical Report was completed by Green Plan Environmental Consulting Ltd. to identify and evaluate the ecological features, including wetlands, within the ASP area. Multiple databases were searched, and a field study was done to identify vegetation, wildlife, wetlands, and any environmentally sensitive areas in the area. The wetland identified in this report will be retained and vegetation will be cleared between September 1st and January 31st to mitigate impacts on nesting birds in accordance with the Migratory Birds Convention Act and Alberta's Wildlife Act.

## **3.0 DEVELOPMENT CONCEPT**

### 3.1 Goals & Objectives

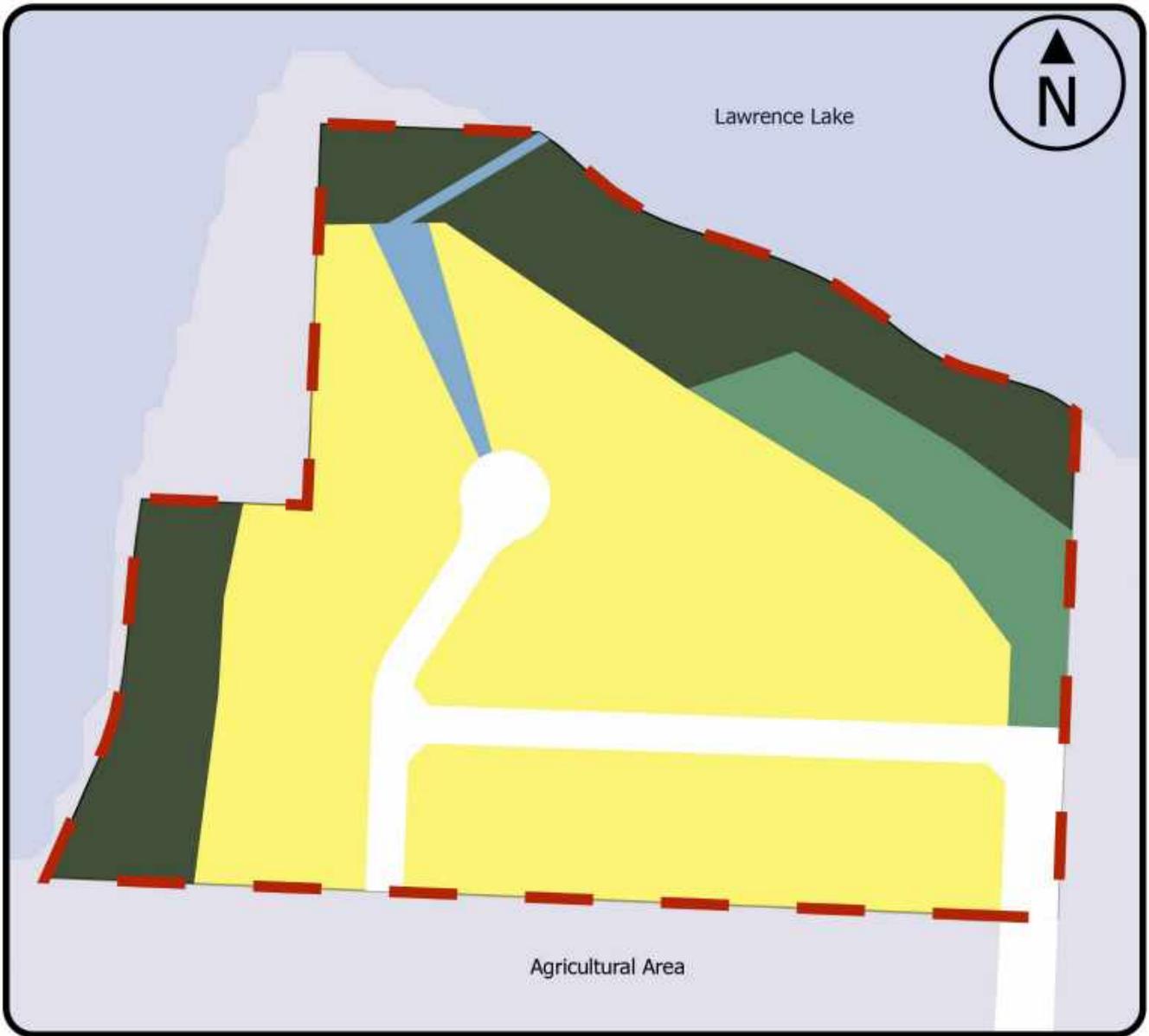
The Lawrence Lake ASP provides a framework for future development of the Plan Area, with a primary focus on residential un-serviced lots. Figure 3 shows the proposed land use concept.

The Lawrence Lake ASP is guided by the following goals:

1. Providing a logical and efficient pattern of development for primarily seasonal use cabins.
2. Respecting the natural environment and conditions of the surrounding area by sensitively incorporating development.



# E1NS



## Legend:

- |   |                    |   |                                 |   |                |
|---|--------------------|---|---------------------------------|---|----------------|
|  | -Road Network      |  | -Environmental Reserve          |  | -Site Boundary |
|  | -Residential       |  | -Stormwater Management Facility |   |                |
|  | -Municipal Reserve |   |                                 |   |                |

Scale - N.T.S. \*Refer to Appendix for Detailed Subdivision Plan\*

## 3.2 Land Use Pattern and Summary

The Lawrence Lake ASP intends to capitalize on the locational advantage of the lands by providing a focus on properties with lake views. Figure 4 summarizes the proposed land uses for the area:

**Figure 4: Land Use Statistics**

<b>Total</b>	<b>+/- AREA (Hectares)</b>	<b>+/- AREA (Acres)</b>	<b>% of GDA</b>
Gross Developable Area (G.D.A)	<b>18.5</b>	<b>45.7</b>	<b>100%</b>
Environmental Reserve	<b>3.6</b>	<b>8.9</b>	<b>20%</b>
Stormwater	<b>0.3</b>	<b>0.8</b>	<b>2%</b>
Existing Road	<b>2.4</b>	<b>5.9</b>	<b>13%</b>
Net Developable Area (N.D.A.)	<b>12.2</b>	<b>30.2</b>	<b>65%</b>
			<b>% of NDA</b>
Municipal Reserve	<b>1.2</b>	<b>2.9</b>	<b>10%</b>
Residential	<b>9.9</b>	<b>24.5</b>	<b>81%</b>
Road Right-of-Way	<b>1.1</b>	<b>2.8</b>	<b>9%</b>

<b>Type</b>	<b>Gross Area (Ha)</b>	<b>Units/Gross ha</b>	<b>Units</b>	<b>People/Unit</b>	<b>Population</b>
Residential	<b>9.9</b>	<b>(Refer to Tentative Plan)</b>	<b>25</b>	<b>2.8</b>	<b>70</b>

Note 1: 2.5units/ha is used due to the use of septic/cistern tank services.

Note 2: Numbers may not add up due to rounding.

The ASP lands have been planned with a proposed 25-lot subdivision which will be developed in a staged approach detailed in Section 5.1.

## 3.3 Residential Development

The residential dwelling type will be seasonal, low density detached housing on larger lots. Residential development within the Lawrence Lake ASP will be guided by the following policies:

1. Encourage a development pattern that maximizes lots along Lawrence Lake.
2. Encourage a consistent architectural style to promote a cohesive development.

<b>Objective 3.3</b>	
<b>To enable the development of residential lands on the subject property.</b>	
<b>Policies</b>	
<b>3.3.1</b>	The development of the Plan area shall be consistent with the land uses shown in Figure 3 – Land Use Concept.
<b>3.3.2</b>	Subdivision applications and development permits for the Plan area shall be consistent with the recommendations outlined in the Geotechnical Site Investigation completed by PrycoGlobal in March 2022, to the satisfaction of the M.D. of Lesser Slave River.
<b>3.3.3</b>	For the development of individual lots, site-specific geotechnical investigation may be provided at the development permit stage.
<b>3.3.4</b>	The ASP area shall be developed in accordance with the Tentative Subdivision Plan outlined in Appendix A.
<b>3.3.5</b>	In accordance with M.D. of Lesser Slave River Bylaw 2020-03 (Rural Addressing System), all residential developments within the Plan area shall be assigned a rural address at the time of development.

### 3.4 Parks and Open Spaces

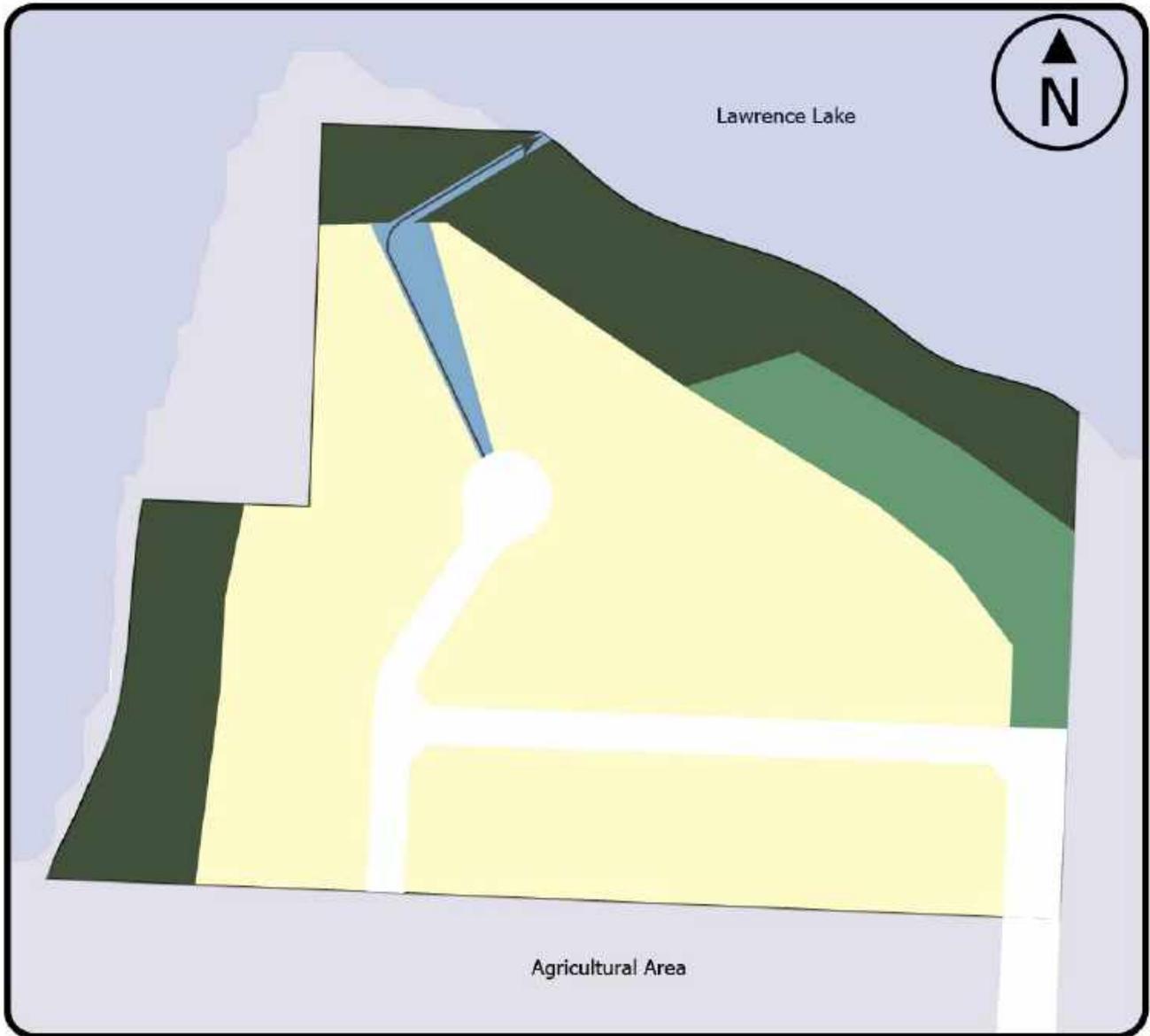
Parks and Open Spaces shall be provided through Municipal Reserve (MR) and Environmental Reserve (ER) primarily. The natural areas along Lawrence Lake that form part of the ASP area are intended to be left in their natural state and identified as ER areas for protection of the Lake and its shoreline. The boundary of the ER areas proposed are in accordance with the tentative plan of subdivision prepared by PALS Geomatics in Appendix A. Figure 5 shows the locations of the MR and ER lands as well as the Stormwater Management Facilities.

Parks and Open Spaces within the ASP shall be guided by the following policies:

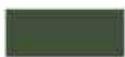
1. Wetlands and Lawrence Lake will be protected by using ER as buffers.
2. Encourage the reduction of the disturbance of wildlife habitat and wildlife corridors by restricting development to outside riparian areas.

<b>Objective 3.4</b>	
<b>To provide a buffer between residential dwellings and Lawrence Lake while enhancing recreation lands that are accessible to the general public.</b>	
<b>Policies</b>	
<b>3.4.1</b>	Subdivision applications and development permits for the Plan area shall be consistent with the recommendations outlined in the Biophysical Impact Assessment completed by Green Plan Environmental Consulting Ltd. in July 2022, to the satisfaction of the M.D. of Lesser Slave River.
<b>3.4.2</b>	Any removal or alteration of wetlands shall require the provincial approval of Alberta Forestry prior to development of the lands.
<b>3.4.3</b>	The dedicated Municipal Reserve Lands shall be consistent with the lands shown in Figure 5 – Open Space Map and shall not exceed 10% of the total land area. Where 10% of land dedication cannot be achieved, the M.D. of Lesser Slave River may seek costs based on the value of the land and remaining portion of the land dedication.
<b>3.4.4</b>	Any clearing of vegetation should occur between September 1 through to January 31 and clearing of vegetation beyond this timeframe shall require the employment of a qualified biologist to verify that no nesting migratory birds are harmed or disturbed.
<b>3.4.5</b>	The development of the Plan area should include a gravel trail as generally illustrated within the Stormwater Management lands that provide connection to Lawrence Lake, indicated in Figure 5 – Open Space Map. The final location and size of the trails shall be determined at detailed design.
<b>3.4.6</b>	At the time of subdivision, the Environmental Reserve lands shall be established in accordance with the Municipal Government Act, as generally shown in Figure 5 - Open Space Map.

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## Legend:

-  -Environmental Reserve
-  -Municipal Reserve
-  -Stormwater Management Facility

 -Trail

### Figure 5 - Open Space Map

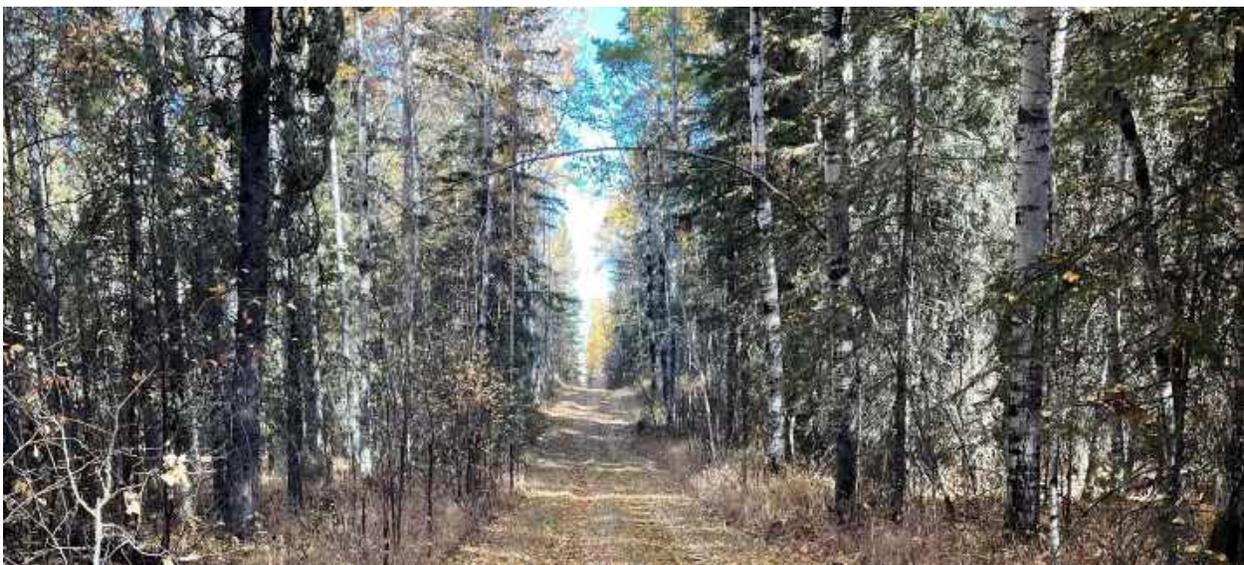
Scale - N.T.S. \*Refer to Appendix for Detailed Subdivision Plan\*

## 3.5 Transportation Network

Future access will be developed through an approved public access road constructed along the eastern boundary of the ASP lands that connects to TWP Road 693 from the south and extends northwards to the ASP lands. This roadway will be built to a 30m Right-of-Way and chicane to avoid a 0.5-hectare wetland that was identified in the Biophysical Report to mitigate environmental impacts.

Internally, there will be a local public roadway to access the new lots. The public roadway will be constructed to local design standards. Figure 6A shows the proposed road cross-section for the internal public roadways of the development. A cul-de-sac will be provided to allow for emergency and truck traffic turnarounds at the northern end of the Plan Area, while a connection to a potential future ASP area to the south of the lands in question will be provided. This connection may also be utilized for a secondary access through the lands to the south for emergency purposes. Phasing of the construction of the internal roadway will generally follow Figure 9.

A Traffic Impact Assessment (TIA) was completed by ISL for the proposed development and was submitted separately. Due to the mainly seasonal nature of the low residential density within the Plan Area, the traffic counts will likely be lower than what was used in the TIA. The TIA recommended that the MD consider allowing the development of at least 8 residential lots with no improvements and traffic volumes should be monitored as development proceeds to verify the correlation between finished developments and traffic volumes.



<b>Objective 3.5</b>	
<b>To create a safe, efficient, and functional road network within the Plan area and beyond.</b>	
<b>Policies</b>	
<b>3.5.1</b>	The development shall implement the recommendations outlined in the Traffic Impact Assessment completed by ISL as part of the application.
<b>3.5.2</b>	Prior to full build out, the road easement shown in Figure 6B – Transportation Map, travelling through SW-24-69-25-W4M may be required to be legally dedicated through a ROW caveat to provide secondary access for emergency purposes at the discretion of Fire Services.
<b>3.5.3</b>	The development of the Plan area shall be in general conformance with the public roadways shown in Figure 6B – Transportation.
<b>3.5.4</b>	The construction of the public roadways shall be in conformance with the M.D. of Lesser Slave River’s Municipal Servicing Standards or Alberta Transportation standards where applicable.

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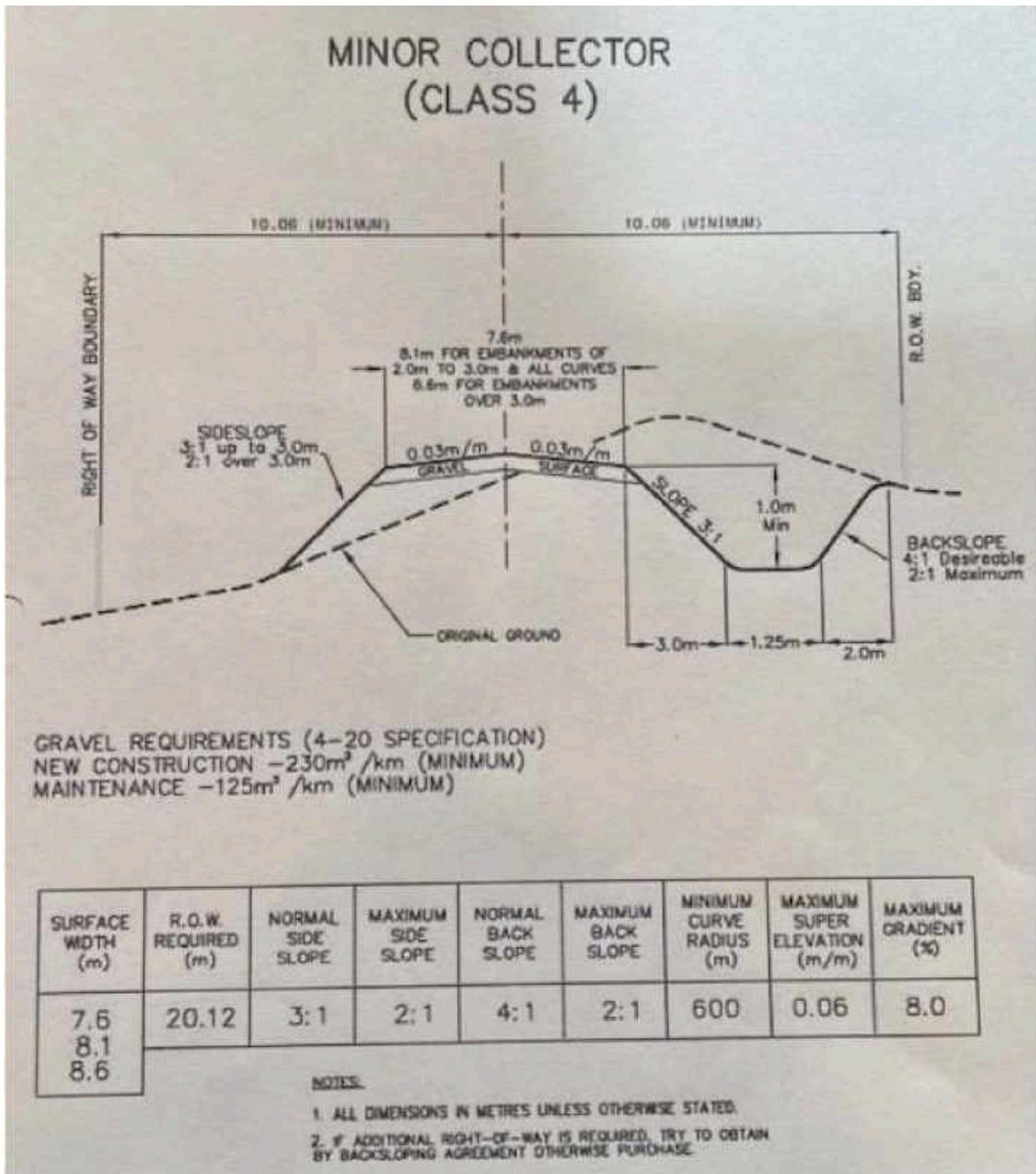
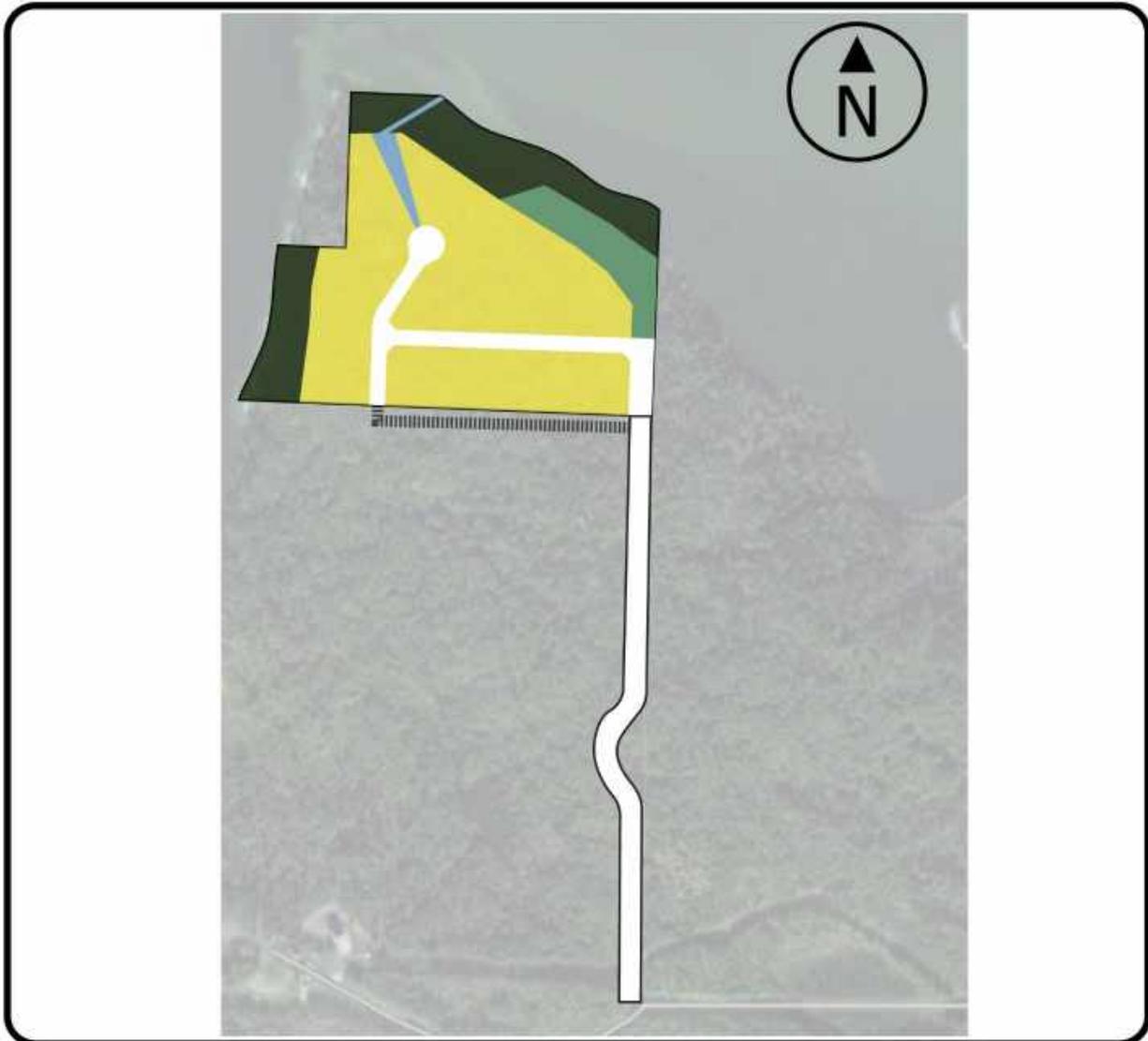


Figure 6A - Collector Road Cross-Section

# E1NS



## Legend:



-Proposed Public Roadway



-Approved Public Roadway(23-S-04)



-Proposed Secondary Road Easement

\*Location could be subject to change, to be determined at time of subdivision\*

Scale - N.T.S. \*Refer to Appendix for Detailed Subdivision Plan\*

## Figure 6B - Transportation

### 3.6 Water & Sanitary Services

Each individual lot will utilize 7,500L underground cisterns to supply water to, and handle sanitary outflows from individual properties. Cisterns will be managed privately by individual owners; however, a Cottage Association may be created for the area that may contract and schedule deliveries and pickups during summer months. It is anticipated that water filling and sanitary pumping will be necessary on a weekly basis, with trucks making one weekly visit to the area to service multiple (all) dwellings at once. This will minimize the overall impact on public roadways during summer months.

<b>Objective 3.6</b>	
<b>To provide water supply to the Plan area and wastewater management that does not adversely impact the groundwater or Lawrence Lake.</b>	
<b>Policies</b>	
<b>3.6.1</b>	Each landowner shall utilize a minimum 7,500 underground cistern to supply water for individual properties.
<b>3.6.2</b>	The construction of the water cistern shall be in conformance with the Public Health Act and any other related provincial or federal regulations.
<b>3.6.3</b>	Wastewater shall be controlled through the implementation of tanks installed on each property in accordance with Provincial requirements through the Private Sewage Disposal Systems Regulation and the Alberta Private Sewage Systems Standard Practice.
<b>3.6.4</b>	Effluent collected from on-site wastewater system tanks shall be trucked to an approved wastewater disposal site for treatment.

### 3.7 Stormwater Management

The subject property will have its own self-contained stormwater management system that meets standards set out by municipal and provincial agencies. Stormwater within the Plan Area will drain overland from individual properties, through ditches and culverts within the road right-of-way and eventually taking stormwater to a stormwater pond. A separate Stormwater Management Report has been prepared by Bolson Environmental and has been submitted under a separate cover. The planned location of the Stormwater Management Facility and drainage patterns are shown in Figure 7.

## Objective 3.7

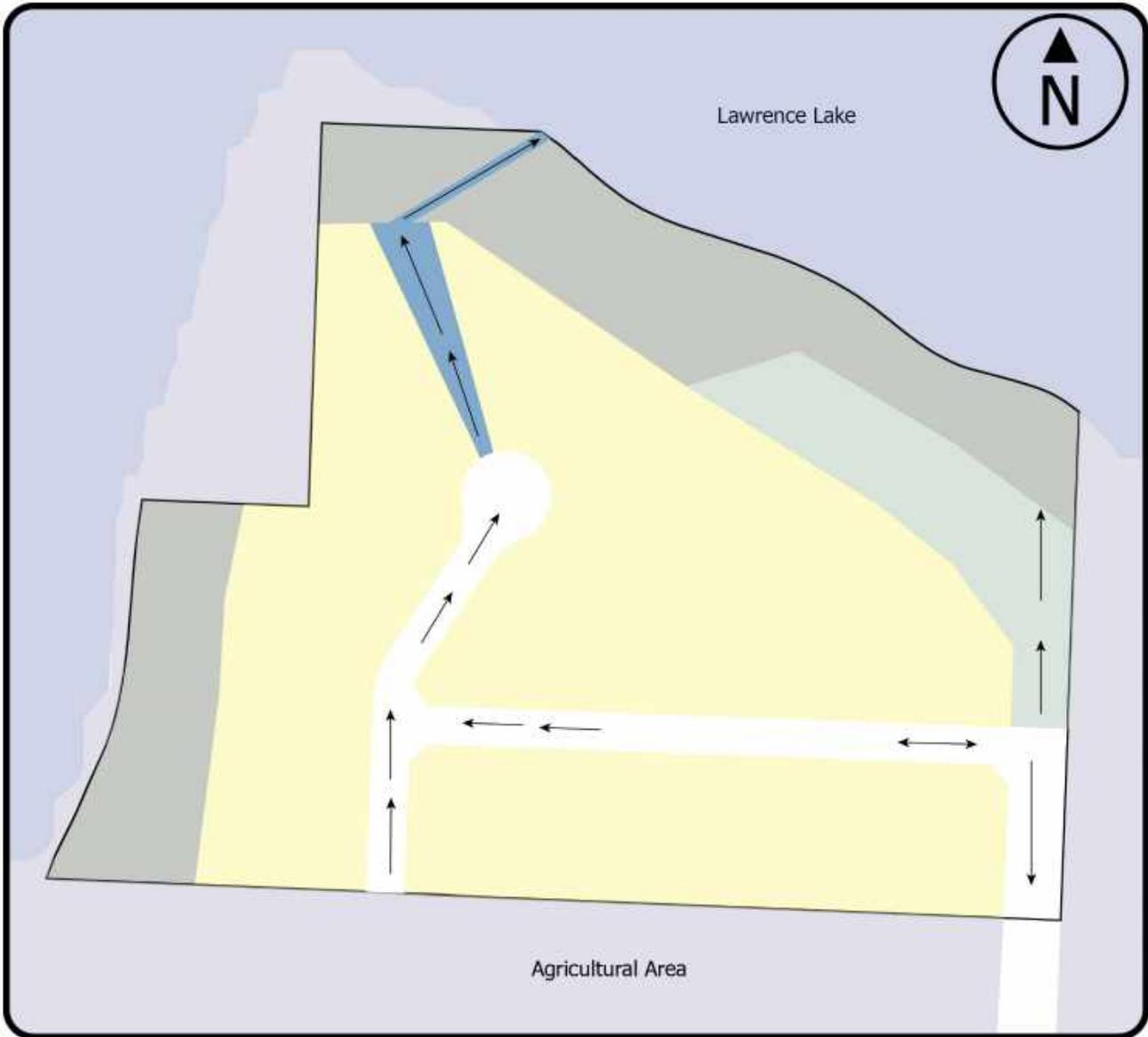
**To provide adequate stormwater servicing to the Plan area to mitigate the release of sediment, contaminated water, and other particulates into Lawrence Lake.**

### Policies

- 3.7.1** The proposed stormwater management facility within the Plan area shall be as generally illustrated in Figure 7 - Stormwater Management. The final location and size of the stormwater facility shall be determined at detailed design.
- 3.7.2** Subdivision applications for the Plan area shall be consistent with the recommendations outlined in the Stormwater Management Review and Report completed by Bolson Engineering and Environmental Services in July 2023, to the satisfaction of the M.D. of Lesser Slave River.
- 3.7.3** The stormwater management facility shall be designated as a Public Utility Lot (PUL).
- 3.7.4** Prior to construction, the developer shall obtain the necessary Water Act approvals for stormwater discharge into the lake.



# E1NS



## Legend:

-  -Stormwater Management Facility
-  -Direction of Flow

Figure 7 - Stormwater Management

Scale - N.T.S. \*Refer to Appendix for Detailed Subdivision Plan\*

### 3.8 Shallow Utilities

Currently, the nearest power service connections are located at the southeast end of the Plan Area at TWP RD 693 and will be extended to provide connections to individual properties. Gas services are not proposed to be extended to serve the Plan Area.

<b>Objective 3.8</b>	
<b>To provide power and telecommunication services to the residents located within the Plan area.</b>	
<b>Policies</b>	
<b>3.8.1</b>	Shallow utilities shall be provided within the Plan area at the sole expense of the developer within appropriate road right-of-way and/or within easements on private property established at the detailed subdivision design stage to the satisfaction of the utility providers for the M.D. of Lesser Slave River.

### 3.9 Waste Management

Measures will be taken to ensure adequate waste management is provided that does not adversely impact Lawrence Lake or the natural environment. Waste management within the ASP Area may be handled collectively with waste being dropped off at the closest certified landfill by a private company. The frequency of waste disposal as well as the private company that will handle the waste management will be determined by the Cottage Association at a future date.

### 3.10 FireSmart Design

Development within the Lawrence Lake ASP will adhere to FireSmart principles; a framework designed by the Government of Alberta to mitigate the risk of uncontrollable wildfires. These principles will be adhered to by implementing the following steps and design principles through a Cottage Association Bylaw within the three priority areas outlined in the Home Ignition Zone shown in Figure 8.

# E1NS



Figure 8 - FireSmart Ignition Zone

## Objective 3.10

**To prevent and mitigate risks of uncontrollable wildfires within the Plan area while balancing the retention of natural vegetation within the municipal reserve lands and environmental reserve lands.**

### Policies

- 3.10.1** The development within the Plan area should adhere to the FireSmart principles of FireSmart Canada which includes:
- Immediate Zone 0 – 1.5 meters - All the following policies are mandatory to be adhered to:
- Requiring the use of fire-resistant siding on buildings.
  - Requiring individual homeowners to clear vegetation within this buffer Zone around their cabins. Requiring homeowners to regularly maintain this area to ensure the required clearances are adhered to.
- Intermediate Zone 1.5 – 10 meters – All the following policies should be adhered to:
- Avoiding the use of woody debris, including mulch, as groundcover.
  - Keeping combustible items like firewood piles, construction materials, patio furniture, tools, and decorative pieces out of this zone. If that's not possible due to individual site constraints, storing firewood inside a garage, shed, or other ember resistant structures.
  - Ensuring trailers, recreational vehicles, storage sheds, and other combustible structures are outside this Zone.
  - Creating a non-combustible ground cover, like a gravel pad, underneath and 1.5 metres around trailers, recreational vehicles, and sheds.
- Extended Zone 10 – 30 meters – All the following policies may be adhered to:
- Selectively removing dry evergreen trees to create at least 3 metres of horizontal space between the single or grouped tree crowns.
  - Removing all branches to a height of 2 metres from the ground.
  - Regularly cleaning up accumulations of fallen branches, dry grass, and needles to eliminate potential surface fuels.
  - Continuing to apply these principles for properties that extend beyond 30 metres.

# E1NS

The Cottage Association may direct procedures for firefighting – including but not limited to:

- Regular property inspections to ensure adherence to FireSmart Principles.
- Posting of fire safety instructions within internal MR parcels to ensure visibility for all residents. Procedures for fighting small fires on individual sites, as well as proper procedures for larger fires that require fire trucks and/or evacuation.

In addition, a secondary access may be provided through an easement on the lands to the south of the Plan Area to provide for emergency access, if required. A signed letter of authorization from southern landowners can be found in Appendix B.

## 4.0 STATUTORY PLAN REVIEW

The Lawrence Lake Subdivision ASP has been prepared in accordance with the applicable statutory plans. The ASP conforms with the Municipal Development Plan in the following ways:

Policy	Conformance
2.1.2 (f) Has access to existing roads or includes internal roads to service the development, which shall be constructed by the developer to municipal standards.	Access to Lawrence Lake ASP will be off Township Road 693 which is an existing roadway, and an internal road will be built to service all lots within the ASP area.
2.2.1 Parts of some Community Areas are subject to a potential flood hazard. No permanent structures shall be permitted within the flood plain of any river, stream, or lake shore unless an assessment prepared by a qualified professional determines that the flood plain does not impact the development, or if a proper flood proofing techniques are applied. A certificate from a qualified, registered professional engineer shall be required to confirm that the development has been properly flood proofed.	The ASP Area is not within a flood plain of Lawrence Lake.

# ENS

<p>2.2.2 In accordance with the Act, Environmental Reserve (ER) may, at the time of subdivision, be applied to the lands that are subject to a flood hazard, contain sensitive habitat, or are subject to potential erosion due to steep or unstable slopes.</p> <p>2.2.4 (a) For subdivisions adjacent to waterbodies, ER should include sufficient shore lands so as to provide adequate protection for waterfowl and fish habitat, and public shoreline access in accordance with the Act. In these areas, the ER allocation may be supplemented by Municipal Reserve (MR) where the additional lands are required to accommodate parks or playgrounds areas, trails corridors or walkways, or parking areas.</p>	<p>Significant ER land has been dedicated along the northern and western boundaries of the ASP Area, along Lawrence Lake.</p> <p>The ER lands include shore lands and MR land is provided in addition to the ER land to provide public outdoor recreation opportunities and serve as a buffer between the seasonal residential lots and the ER lands.</p>
<p>2.3.1 The MD should be aware of “FireSmart: Protecting Your Community from Wildfire” design principles when preparing Area Structure Plans and designing subdivisions, and minimize the potential for wildfire damage.</p>	<p>Refer to Section 3.10 for conformance to FireSmart Policies within the MDP.</p>
<p>2.4.4 All subdivision and development proposals shall have access to developed roads. The provision of roads associated with a proposed subdivision or development are the sole responsibility of the developer.</p>	<p>The Lawrence Lake ASP Area will be serviced by an internal road that will be built by the landowners and will connect with Township Road 693.</p>

## 5.0 IMPLEMENTATION

### 5.1 Development Phasing

The development is proposed to occur in multiple phases, with Phase 1 anticipated in 2024. Future phasing timing is dependent on market factors beyond the scope of this ASP, as well as the implementation of recommendations specifically from the TIA.

Phase 1 consists of 8 lots being developed along the internal public roadway of the ASP area with 6 lots being developed north of the public roadway, and 2 lots being developed south of the public roadway. The access road and public interior local roadway are all part of the proposed Phase 1 development. Following the development of the first 8 lots, traffic counts and the TIA’s projected traffic volumes should be compared to determine accuracy and any improvements required.

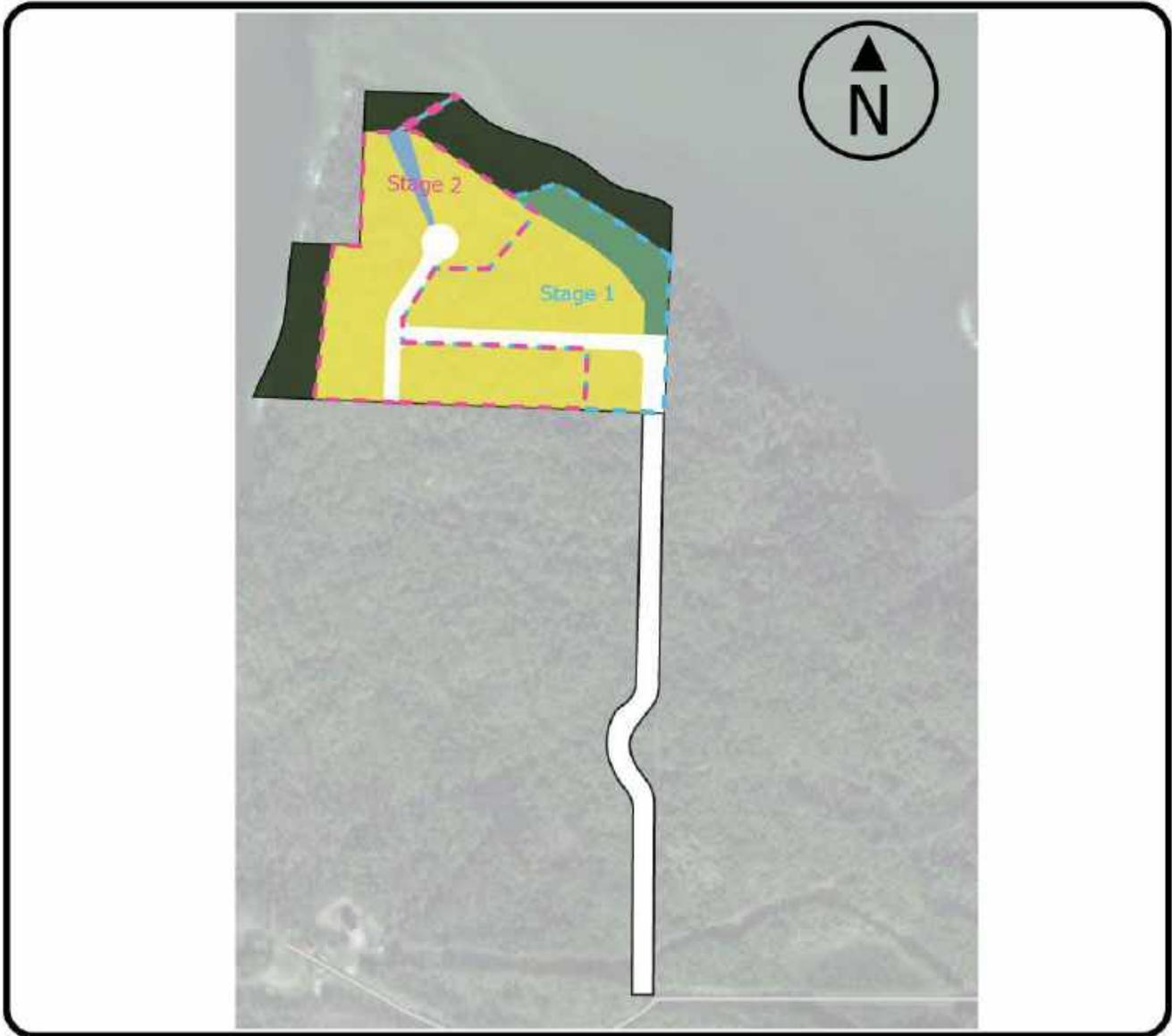
Phase 2 consists of the remaining lots being developed as well as the stormwater management facility and can be considered once traffic generation numbers and counts have been verified in accordance with TIA recommendations.

Refer to Figure 9 for a general summary of the proposed phases.

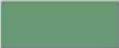


<b>Objective 5.0</b>	
<b>To grow logically and efficiently in a manner that does not adversely impact the fiscal status of the M.D. of Lesser Slave River's services.</b>	
<b>Policies</b>	
<b>5.1</b>	The development of the Plan area shall enable redistricting of the M.D. of Lesser Slave River's Land Use Bylaw in accordance with the designated land uses outlined in Figure 3 – Land Use Concept.
<b>5.2</b>	Site grading should take into consideration existing topography to minimize grading requirements over the Plan area.
<b>5.3</b>	The development of the Plan area shall follow the indicated phasing plan established in Figure 9 – Staging Map.
<b>5.4</b>	A Cottage Association may be established to collectively manage the community waste and implement fire smart principles.
<b>5.5</b>	Development shall protect the environment at all stages of development, including construction, operation, and site reclamation.
<b>5.6</b>	Prior to stripping and grading of the Plan area, a grading plan and erosion and sediment control report shall be submitted to the satisfaction of the M.D. of Lesser Slave River. This plan shall depict road and swale grades and include public utility lot areas, stormwater management plans and an erosion and sediment control plan and shall be approved by the M.D. of Lesser Slave River.
<b>5.7</b>	Subdivision and development of the lands shall be in accordance with the M.D. of Lesser Slave River's policies and regulations at the time of subdivision and development.
<b>5.8</b>	Subdivision and development of the lands shall meet all provincial and federal regulations at the time of subdivision and development.

# E1NS



## Legend:

	-Road Network		-Environmental Reserve		-Stage 1
	-Residential		-Stormwater Management Facility		-Stage 2
	-Municipal Reserve		-To be built as part of 23-S-04 approval		

Scale - N.T.S. \*Refer to Appendix for Detailed Subdivision Plan\*

### Figure 9 - Staging Map

## 5.2 Supporting Studies

The following additional studies were completed as part of this ASP process:

- Lawrence Lake Subdivision Biophysical completed by Green Plan Environmental Consulting Ltd. in July 2022
- Geotechnical Investigation completed by Pryco in March 2022 Lawrence Lake Subdivision TIA completed by ISL in June 2023
- Stormwater Management Report completed by Bolson Engineering and Environmental Services in July 2023
- Tentative Plan of Subdivision, including top-of-bank delineation and suggested ER boundaries prepared by PALS Geomatics in May 2023





## Appendix B: Easement Authorization Letter (SW-24-69-25-W4M)

August 31, 2023  
Ann Holden  
Planning & Development Officer  
MD of Lesser Slave River  
RE: Lawrence Lake ASP – Secondary/Emergency Access  
through SW-24-69-25-W4M  
Dear Ann,  
We the undersigned, being the registered owners of SW-24-69-25-W4M, hereby grant authority to register easements through our property to provide emergency access to support the proposed development of NW-24-69-25-W4M as part of the proposed Lawrence Lake ASP.

<u>Vicki Jones</u>	<u>Tim Jones</u>
PRINTED NAME	PRINTED NAME
<u></u>	<u></u>
SIGNATURE	SIGNATURE
<u>Sept 6/23</u>	<u>Sept 6/23</u>
DATE	DATE