



A G E N D A

Municipal District #124 - Public Hearing
Wednesday, June 26, 2024 - 10:15 AM - MD Council Chambers

Page

CALL TO ORDER

INTRODUCTIONS

BACKGROUND

- 3.1 Lawrence Lake Area Structure Plan 2 - 38
[2024-11 Background](#)
[Bylaw 2024-11 Lawrence Lake Area Structure Plan Bylaw](#)
[LAWRENCE LAKE AREA STRUCTURE PLAN EINS April 16 2024 \(Final\)](#)
[Lawrence Lake- Area Structure Plan - Google Earth](#)
[Lawrence Lake- Area Structure Plan - Map 1](#)
[Lawrence Lake ASP Lakeside Leader June 12](#)
[Lawrence Lake ASP Lakeside Leader June 19](#)

ANYONE WISHING TO SPEAK AGAINST THE PROPOSED BYLAW

- 4.1 Written Submissions
4.2 Verbal Submissions

ANYONE WISHING TO SPEAK IN FAVOUR OF THE PROPOSED BYLAW

- 5.1 Written Submissions
5.2 Verbal Submissions

QUESTIONS FROM COUNCIL

ADJOURNMENT

BACKGROUND:

The purpose of the Area Structure Plan (ASP) is to provide a planning framework for the subsequent subdivision and to act as a general guide for logical and compatible development of the property for the primary use of seasonal residences. The plan addresses development issues to effectively coordinate technical and aesthetic aspects of land development.

The Municipal Development Plan states that an ASP may be a prerequisite for the approval of any major subdivision or development proposal. In addition, the matters related to subdivision and development regulation of the Municipal Government Act require that area structure plans be prepared for multi-parcel subdivisions within 1.6 km of the highway.

A breakdown of the land use concept can be found in section 3 of the plan. Because of topography and to protect Lawrence Lake, a fairly large portion of the land has been taken as environmental reserve. The reserve land will serve as a wildlife corridor along the lake by restricting the developable area closest to the lake. To satisfy the regulations of stormwater discharge into a lake, a public utility lot is part of the plan. The primary land use is residential.

The plan is accessed from TWP RD 693, via Lawrence Lake Dr and HYW 2. As the subdivision is built out, a second access road has been taken as a right-of-way on one of the agricultural lots south of the plan.

There are no municipal water and sewer services planned for the plan area. Holding tanks will be used for the disposal of sewage and individually owned cisterns will be used to provide water for future residents.

Weighing the needs of vegetation retention for the wildlife and slopes with fire safety was one of the challenges with the development of the plan. The plan therefore contains FireSmart policies that require developers to use certain building material and to clear land closest to the buildings. Since the intermediate FireSmart zone may not fall within the property lines, the policies on this portion of the land are not mandatory, but strongly encouraged.

Residents in a 3 km radius have had the opportunity to review the plan. Various referral agencies have also been involved in the development of the plan.

- Alberta Forestry and Parks (water division): They were given the opportunity for input early on to have concerns addressed. Environmental Reserve/Municipal Reserve layout was based on concerns from the department. When the Area Structure Plan was referred, the department had no concerns. A Crown Land Reservation on the west side of the subdivision for no surface disposition/lake shore protection due to no Environmental Reserve being able to extend west onto crown land.
- Alberta Forestry and Parks (park division): Reviewed the ASP and have no concerns.
- ATCO Electric: The only concern was the existing power line into SW-24-69-25-4 that the new road will be crossing. We may want to consider a powerline Right-Of-Way plan to avoid issues. *A Utility ROW caveat and plan is registered along the road of SW-24-69-25-W4.*
- Athabasca County: No concerns.
- Health Inspector: when the building phase starts, the health inspectors had instructions on water wells and sewage systems. No objections to the approval of the application.
- Fire Services: The lot is 25-minute drive from the Smith Firehall. Administration had a meeting with the fire department about ways to mitigate fire risks.
- Fisheries and Oceans: For projects near water, it is the proponents responsibility to meet all requirements of Federal, Provincial, and Municipal agencies.
- Historical resources: A historical resource act assessment for archaeological resources must be completed before any surface disturbance.
- MD transportation: No comments
- MD Utilities: No issues

- Alberta Transportation: Alberta Transportation has accepted the Lawrence Lake ASP and Traffic Impact Assessment (TIA) Transportation and Economic Corridors offers the following comments and observations with respect to the proposed development(s):
 - Pursuant to Section 618.3(1) of the Municipal Government Act (MGA), the department expects that the municipality will comply with any applicable items related to provincial highways in an ALSA plan if applicable
 - Pursuant to 618.4(1) of the Municipal Government Act, the department expects that the Municipality will mitigate the impacts of traffic generated by developments approved on the local road connections to the highway system, in accordance with Policy 7 of the Provincial Land Use Policies.
- TELUS: No concerns
- Apex Utilities: Acknowledged referral, have no objection to the proposed ASP. Any relocation of existing utilities and payment of contributions required for new gas facilities will be at the expense of the developer.



BYLAW 2024-11

A BYLAW OF THE MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124 IN THE PROVINCE OF ALBERTA, FOR THE PURPOSE OF ESTABLISHING THE LAWRENCE LAKE AREA STRUCTURE PLAN

WHEREAS the Council of the Municipal District of Lesser Slave River No. 124 considers it necessary to adopt, in accordance with Sections 633 and 636 of the *Municipal Government Act*, RSA 2000, the Lawrence Lake Area Structure Plan, being Bylaw No. 2024-11 and amendments thereto, to specify policy and regulatory direction of the lands within NW-24-69-25-W4M;

WHEREAS the Council of the Municipal District of Lesser Slave River No. 124 deems it appropriate to incorporate in a statutory plan adopted pursuant to the *Municipal Government Act* the findings of accompanying studies;

WHEREAS the Council of the Municipal District of Lesser Slave River No. 124 deems it advisable to adopt the Lawrence Lake Area Structure Plan, being bylaw 2024-11, so that it clearly and effectively serves as a basis for the multi-lot subdivision;

NOW THEREFORE the Council of Municipal District of Lesser Slave River No. 124 in the Province of Alberta, duly assembled, hereby enact Bylaw 2024-11 Lawrence Lake Area Structure Plan as follows:

1. That Schedule A Attached hereto be adopted as the Lawrence Lake Area Structure Plan being Bylaw 2024-11

This Bylaw takes effect immediately after third reading and upon being signed.

READ for a first time this ____ day of _____, 2024.

ADVERTISED the ____ day of _____, 2024.

ADVERTISED a second time the ____ day of _____, 2024.

PUBLIC HEARING held on ____ day of _____, 2024.

READ for a second time this ____ day of _____, 2024.

READ for a third and final time this ____ day of _____, 2024.

Murray Kerik, Reeve

Barry Kolenosky, Chief Administrative Officer



BYLAW 2024-11

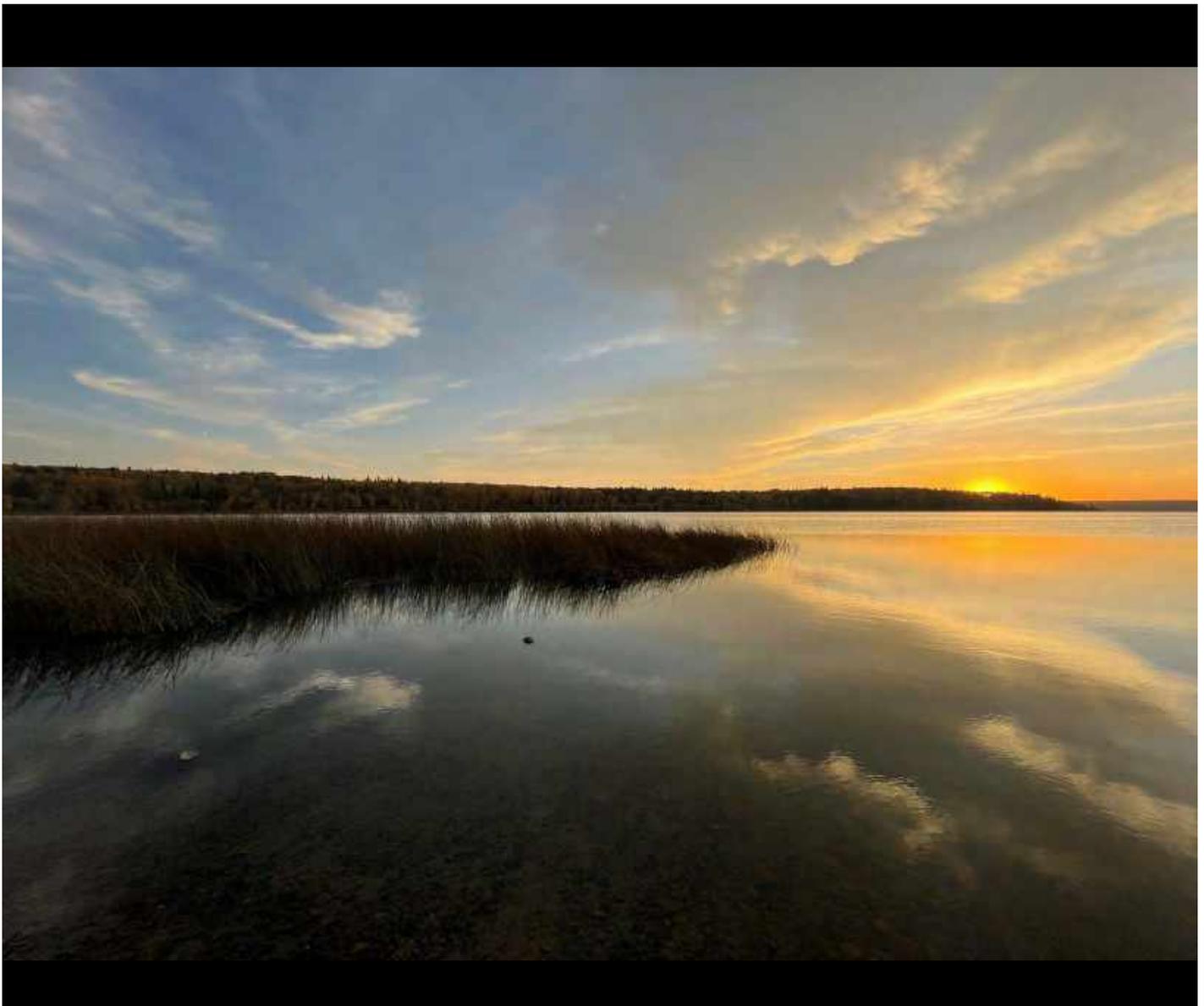
Maps - Schedule "A", Schedule "B" & Schedule "C" attached

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Lesser Slave River

LAWRENCE LAKE AREA STRUCTURE PLAN



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1.0 INTRODUCTION

1.1 Purpose and Location

The Lawrence Lake Area Structure Plan (ASP) consists of 16.1 hectares (39.8 acres) of land located on the eastern edge of Lawrence Lake in the M.D. of Lesser Slave River No. 124 as identified in Figure 1. The Plan Area consists of NW-24-69-25-W4M, as well as a portion of SW-24-69-25-W4M (additional 2.4 hectares) used for public access, which was approved under a previous subdivision (23-S-04). Lawrence Lake defines the north and west boundaries, while SW-24-69-25-W4M bounds the south and NE-24-69-25-W4M bounds the east. The property is zoned Residential Un-serviced District (RUS).

The purpose of this ASP is to provide a planning framework to act as a general guide for logical and compatible development of this property for primarily the use of seasonal cabins. This plan will address development issues comprehensively to effectively coordinate the technical and aesthetic aspects of land development to ensure orderly growth within the site and surrounding areas. This ASP was prepared in accordance with any applicable statutory plans and specific policy that the Lawrence Lake ASP conforms with is discussed under Section 4: Statutory Plan Review.

2.0 CONTEXT AND SITE CONDITIONS

2.1 Existing and Surrounding Land Uses

Figure 1 shows the current land use districting for the site as well as the surrounding lands and districts surrounding the site. The immediate surrounding lands are currently undeveloped and noted as Crown Land District.

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2.2 Physical Features of Plan Area

The lands within the ASP have a pronounced elevation difference from south to north/northwest with drainage overland towards Lawrence Lake. The elevation difference is as much as 28m from the southern edge of the ASP lands to the water level of Lawrence Lake. Figure 2 shows the existing contours on the subject ASP lands. A Geotechnical Investigation Report was completed by PrycoGlobal to determine if the soil conditions would be suitable for the proposed structures. Borehole drilling was done on-site over 7 days and found that the site is suitable for the construction of the foundation of the proposed structures and that the groundwater will not be a concern for the design and construction of foundations for buildings.

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Legend:

- Site Boundary - 
- Contours - 

Figure 2 - Topography Map

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The vegetation on the property is predominantly comprised of mature tree stands with a small wetland in the future access roadway alignment observed that is intended to be preserved by having the roadway wind around. A Biophysical Report was completed by Green Plan Environmental Consulting Ltd. to identify and evaluate the ecological features, including wetlands, within the ASP area. Multiple databases were searched, and a field study was done to identify vegetation, wildlife, wetlands, and any environmentally sensitive areas in the area. The wetland identified in this report will be retained and vegetation will be cleared between September 1st and January 31st to mitigate impacts on nesting birds in accordance with the Migratory Birds Convention Act and Alberta's Wildlife Act.

3.0 DEVELOPMENT CONCEPT

3.1 Goals & Objectives

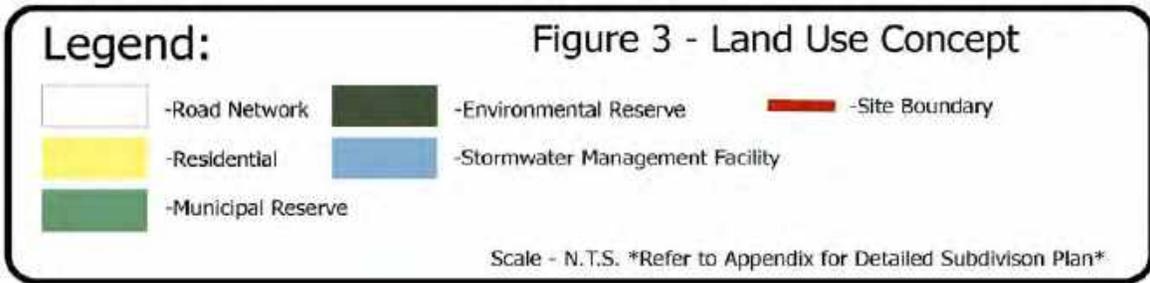
The Lawrence Lake ASP provides a framework for future development of the Plan Area, with a primary focus on residential un-serviced lots. Figure 3 shows the proposed land use concept.

The Lawrence Lake ASP is guided by the following goals:

1. Providing a logical and efficient pattern of development for primarily seasonal use cabins.
2. Respecting the natural environment and conditions of the surrounding area by sensitively incorporating development.



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3.2 Land Use Pattern and Summary

The Lawrence Lake ASP intends to capitalize on the locational advantage of the lands by providing a focus on properties with lake views. Figure 4 summarizes the proposed land uses for the area:

Figure 4: Land Use Statistics

Total	+/- AREA (Hectares)	+/- AREA (Acres)	% of GDA
Gross Developable Area (G.D.A)	18.5	45.7	100%
Environmental Reserve	3.6	8.9	20%
Stormwater	0.3	0.8	2%
Existing Road	2.4	5.9	13%
Net Developable Area (N.D.A.)	12.2	30.2	65%
% of NDA			
Municipal Reserve	1.2	2.9	10%
Residential	9.9	24.5	81%
Road Right-of-Way	1.1	2.8	9%

Type	Gross Area (Ha)	Units/Gross ha	Units	People/Unit	Population
Residential	9.9	(Refer to Tentative Plan)	25	2.8	70

Note 1: 2.5units/ha is used due to the use of septic/cistern tank services.

Note 2: Numbers may not add up due to rounding.

The ASP lands have been planned with a proposed 25-lot subdivision which will be developed in a staged approach detailed in Section 5.1.

3.3 Residential Development

The residential dwelling type will be seasonal, low density detached housing on larger lots. Residential development within the Lawrence Lake ASP will be guided by the following policies:

1. Encourage a development pattern that maximizes lots along Lawrence Lake.
2. Encourage a consistent architectural style to promote a cohesive development.

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Objective 3.3	
To enable the development of residential lands on the subject property.	
Policies	
3.3.1	The development of the Plan area shall be consistent with the land uses shown in Figure 3 – Land Use Concept.
3.3.2	Subdivision applications and development permits for the Plan area shall be consistent with the recommendations outlined in the Geotechnical Site Investigation completed by PrycoGlobal in March 2022, to the satisfaction of the M.D. of Lesser Slave River.
3.3.3	For the development of individual lots, site-specific geotechnical investigation may be provided at the development permit stage.
3.3.4	The ASP area shall be developed in accordance with the Tentative Subdivision Plan outlined in Appendix A.
3.3.5	In accordance with M.D. of Lesser Slave River Bylaw 2020-03 (Rural Addressing System), all residential developments within the Plan area shall be assigned a rural address at the time of development.

3.4 Parks and Open Spaces

Parks and Open Spaces shall be provided through Municipal Reserve (MR) and Environmental Reserve (ER) primarily. The natural areas along Lawrence Lake that form part of the ASP area are intended to be left in their natural state and identified as ER areas for protection of the Lake and its shoreline. The boundary of the ER areas proposed are in accordance with the tentative plan of subdivision prepared by PALS Geomatics in Appendix A. Figure 5 shows the locations of the MR and ER lands as well as the Stormwater Management Facilities.

Parks and Open Spaces within the ASP shall be guided by the following policies:

1. Wetlands and Lawrence Lake will be protected by using ER as buffers.
2. Encourage the reduction of the disturbance of wildlife habitat and wildlife corridors by restricting development to outside riparian areas.

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Objective 3.4	
To provide a buffer between residential dwellings and Lawrence Lake while enhancing recreation lands that are accessible to the general public.	
Policies	
3.4.1	Subdivision applications and development permits for the Plan area shall be consistent with the recommendations outlined in the Biophysical Impact Assessment completed by Green Plan Environmental Consulting Ltd. in July 2022, to the satisfaction of the M.D. of Lesser Slave River.
3.4.2	Any removal or alteration of wetlands shall require the provincial approval of Alberta Forestry prior to development of the lands.
3.4.3	The dedicated Municipal Reserve Lands shall be consistent with the lands shown in Figure 5 – Open Space Map and shall not exceed 10% of the total land area. Where 10% of land dedication cannot be achieved, the M.D. of Lesser Slave River may seek costs based on the value of the land and remaining portion of the land dedication.
3.4.4	Any clearing of vegetation should occur between September 1 through to January 31 and clearing of vegetation beyond this timeframe shall require the employment of a qualified biologist to verify that no nesting migratory birds are harmed or disturbed.
3.4.5	The development of the Plan area should include a gravel trail as generally illustrated within the Stormwater Management lands that provide connection to Lawrence Lake, indicated in Figure 5 – Open Space Map. The final location and size of the trails shall be determined at detailed design.
3.4.6	At the time of subdivision, the Environmental Reserve lands shall be established in accordance with the Municipal Government Act, as generally shown in Figure 5 - Open Space Map.

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Legend:

- Environmental Reserve
- Municipal Reserve
- Stormwater Management Facility
- Trail

Figure 5 - Open Space Map

Scale - N.T.S. *Refer to Appendix for Detailed Subdivision Plan*

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3.5 Transportation Network

Future access will be developed through an approved public access road constructed along the eastern boundary of the ASP lands that connects to TWP Road 693 from the south and extends northwards to the ASP lands. This roadway will be built to a 30m Right-of-Way and chicane to avoid a 0.5-hectare wetland that was identified in the Biophysical Report to mitigate environmental impacts.

Internally, there will be a local public roadway to access the new lots. The public roadway will be constructed to local design standards. Figure 6A shows the proposed road cross-section for the internal public roadways of the development. A cul-de-sac will be provided to allow for emergency and truck traffic turnarounds at the northern end of the Plan Area, while a connection to a potential future ASP area to the south of the lands in question will be provided. This connection may also be utilized for a secondary access through the lands to the south for emergency purposes. Phasing of the construction of the internal roadway will generally follow Figure 9.

A Traffic Impact Assessment (TIA) was completed by ISL for the proposed development and was submitted separately. Due to the mainly seasonal nature of the low residential density within the Plan Area, the traffic counts will likely be lower than what was used in the TIA. The TIA recommended that the MD consider allowing the development of at least 8 residential lots with no improvements and traffic volumes should be monitored as development proceeds to verify the correlation between finished developments and traffic volumes.



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Objective 3.5	
To create a safe, efficient, and functional road network within the Plan area and beyond.	
Policies	
3.5.1	The development shall implement the recommendations outlined in the Traffic Impact Assessment completed by ISL as part of the application.
3.5.2	Prior to full build out, the road easement shown in Figure 6B – Transportation Map, travelling through SW-24-69-25-W4M may be required to be legally dedicated through a ROW caveat to provide secondary access for emergency purposes at the discretion of Fire Services.
3.5.3	The development of the Plan area shall be in general conformance with the public roadways shown in Figure 6B – Transportation.
3.5.4	The construction of the public roadways shall be in conformance with the M.D. of Lesser Slave River’s Municipal Servicing Standards or Alberta Transportation standards where applicable.

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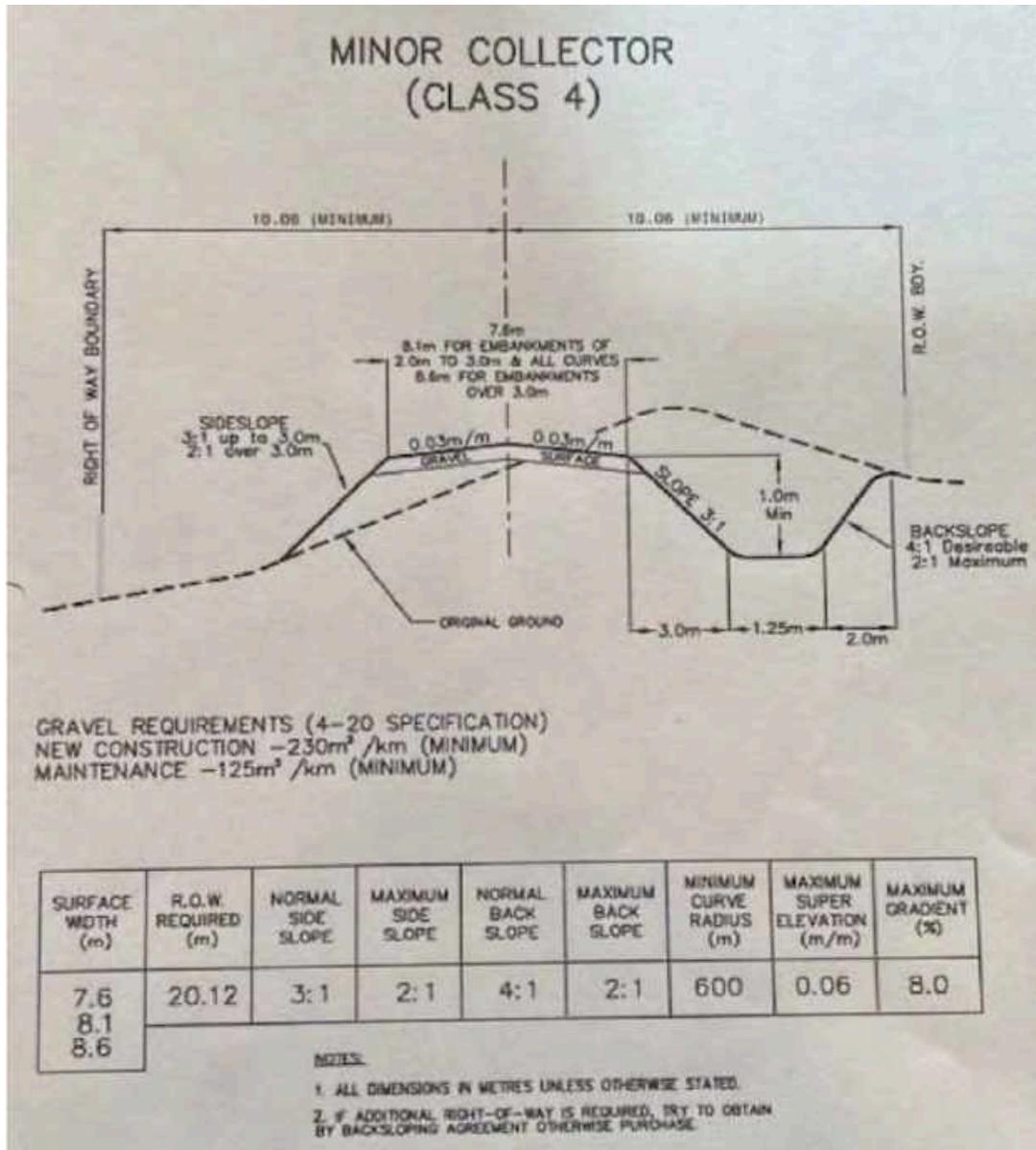
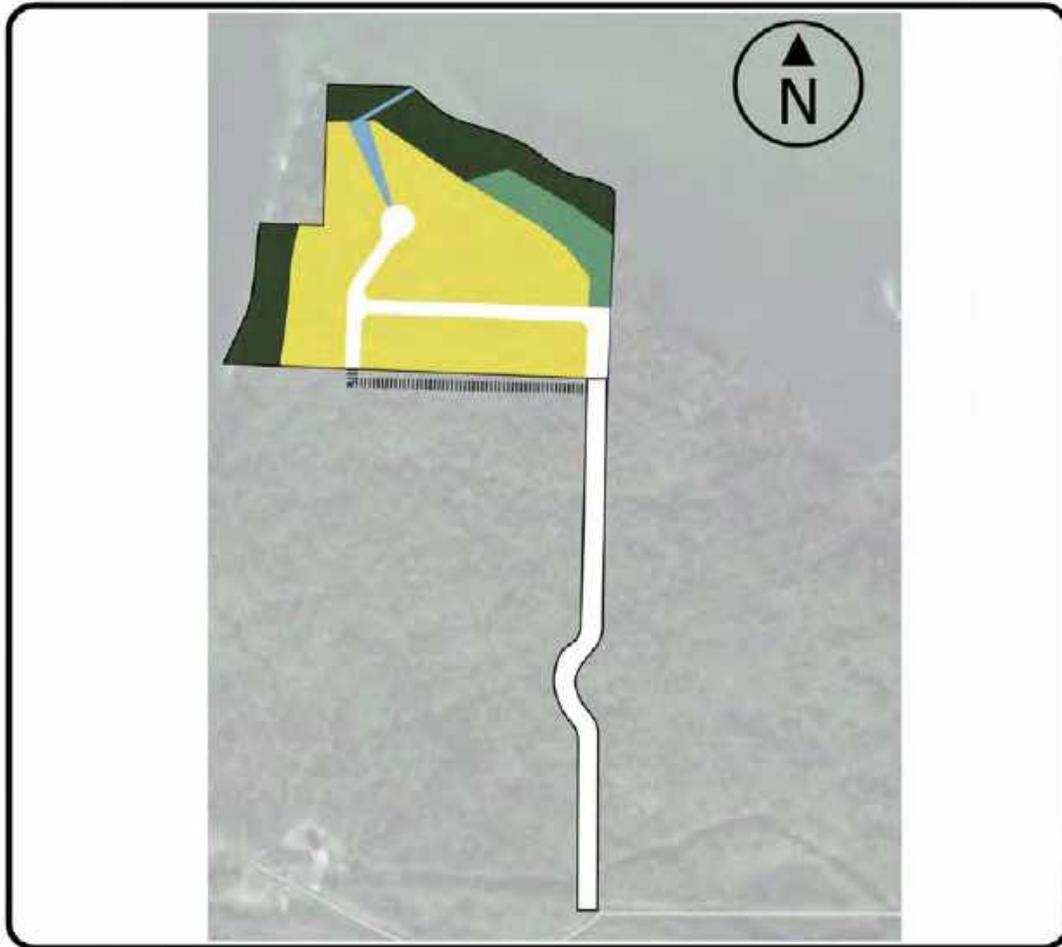


Figure 6A - Collector Road Cross-Section

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Legend:

-  -Proposed Public Roadway
-  -Approved Public Roadway(23-5-04)

Figure 6B - Transportation

-  -Proposed Secondary Road Easement
Location could be subject to change, to be determined at time of subdivision

Scale - N.T.S. *Refer to Appendix for Detailed Subdivision Plan*

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3.6 Water & Sanitary Services

Each individual lot will utilize 7,500L underground cisterns to supply water to, and handle sanitary outflows from individual properties. Cisterns will be managed privately by individual owners; however, a Cottage Association may be created for the area that may contract and schedule deliveries and pickups during summer months. It is anticipated that water filling and sanitary pumping will be necessary on a weekly basis, with trucks making one weekly visit to the area to service multiple (all) dwellings at once. This will minimize the overall impact on public roadways during summer months.

Objective 3.6	
To provide water supply to the Plan area and wastewater management that does not adversely impact the groundwater or Lawrence Lake.	
Policies	
3.6.1	Each landowner shall utilize a minimum 7,500 underground cistern to supply water for individual properties.
3.6.2	The construction of the water cistern shall be in conformance with the Public Health Act and any other related provincial or federal regulations.
3.6.3	Wastewater shall be controlled through the implementation of tanks installed on each property in accordance with Provincial requirements through the Private Sewage Disposal Systems Regulation and the Alberta Private Sewage Systems Standard Practice.
3.6.4	Effluent collected from on-site wastewater system tanks shall be trucked to an approved wastewater disposal site for treatment.

3.7 Stormwater Management

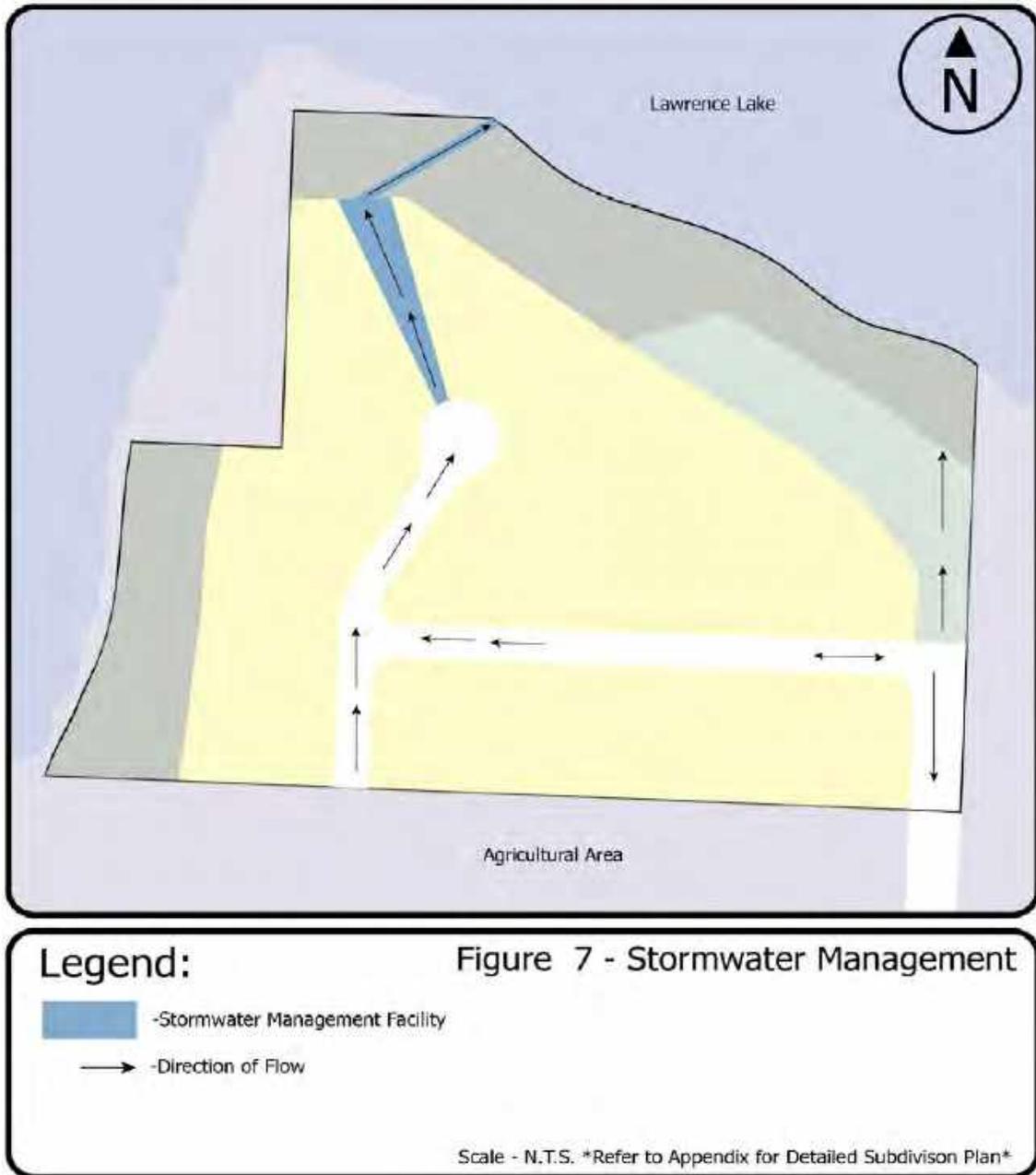
The subject property will have its own self-contained stormwater management system that meets standards set out by municipal and provincial agencies. Stormwater within the Plan Area will drain overland from individual properties, through ditches and culverts within the road right-of-way and eventually taking stormwater to a stormwater pond. A separate Stormwater Management Report has been prepared by Bolson Environmental and has been submitted under a separate cover. The planned location of the Stormwater Management Facility and drainage patterns are shown in Figure 7.

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Objective 3.7	
To provide adequate stormwater servicing to the Plan area to mitigate the release of sediment, contaminated water, and other particulates into Lawrence Lake.	
Policies	
3.7.1	The proposed stormwater management facility within the Plan area shall be as generally illustrated in Figure 7 - Stormwater Management. The final location and size of the stormwater facility shall be determined at detailed design.
3.7.2	Subdivision applications for the Plan area shall be consistent with the recommendations outlined in the Stormwater Management Review and Report completed by Bolson Engineering and Environmental Services in July 2023, to the satisfaction of the M.D. of Lesser Slave River.
3.7.3	The stormwater management facility shall be designated as a Public Utility Lot (PUL).
3.7.4	Prior to construction, the developer shall obtain the necessary Water Act approvals for stormwater discharge into the lake.



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3.8 Shallow Utilities

Currently, the nearest power service connections are located at the southeast end of the Plan Area at TWP RD 693 and will be extended to provide connections to individual properties. Gas services are not proposed to be extended to serve the Plan Area.

Objective 3.8	
To provide power and telecommunication services to the residents located within the Plan area.	
Policies	
3.8.1	Shallow utilities shall be provided within the Plan area at the sole expense of the developer within appropriate road right-of-way and/or within easements on private property established at the detailed subdivision design stage to the satisfaction of the utility providers for the M.D. of Lesser Slave River.

3.9 Waste Management

Measures will be taken to ensure adequate waste management is provided that does not adversely impact Lawrence Lake or the natural environment. Waste management within the ASP Area may be handled collectively with waste being dropped off at the closest certified landfill by a private company. The frequency of waste disposal as well as the private company that will handle the waste management will be determined by the Cottage Association at a future date.

3.10 FireSmart Design

Development within the Lawrence Lake ASP will adhere to FireSmart principles; a framework designed by the Government of Alberta to mitigate the risk of uncontrollable wildfires. These principles will be adhered to by implementing the following steps and design principles through a Cottage Association Bylaw within the three priority areas outlined in the Home Ignition Zone shown in Figure 8.

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Figure 8 - FireSmart Ignition Zone

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Objective 3.10

To prevent and mitigate risks of uncontrollable wildfires within the Plan area while balancing the retention of natural vegetation within the municipal reserve lands and environmental reserve lands.

Policies

- 3.10.1** The development within the Plan area should adhere to the FireSmart principles of FireSmart Canada which includes:
- Immediate Zone 0 – 1.5 meters - All the following policies are mandatory to be adhered to:
- Requiring the use of fire-resistant siding on buildings.
 - Requiring individual homeowners to clear vegetation within this buffer Zone around their cabins. Requiring homeowners to regularly maintain this area to ensure the required clearances are adhered to.
- Intermediate Zone 1.5 – 10 meters – All the following policies should be adhered to:
- Avoiding the use of woody debris, including mulch, as groundcover.
 - Keeping combustible items like firewood piles, construction materials, patio furniture, tools, and decorative pieces out of this zone. If that's not possible due to individual site constraints, storing firewood inside a garage, shed, or other ember resistant structures.
 - Ensuring trailers, recreational vehicles, storage sheds, and other combustible structures are outside this Zone.
 - Creating a non-combustible ground cover, like a gravel pad, underneath and 1.5 metres around trailers, recreational vehicles, and sheds.
- Extended Zone 10 – 30 meters – All the following policies may be adhered to:
- Selectively removing dry evergreen trees to create at least 3 metres of horizontal space between the single or grouped tree crowns.
 - Removing all branches to a height of 2 metres from the ground.
 - Regularly cleaning up accumulations of fallen branches, dry grass, and needles to eliminate potential surface fuels.
 - Continuing to apply these principles for properties that extend beyond 30 metres.

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The Cottage Association may direct procedures for firefighting – including but not limited to:

- Regular property inspections to ensure adherence to FireSmart Principles.
- Posting of fire safety instructions within internal MR parcels to ensure visibility for all residents. Procedures for fighting small fires on individual sites, as well as proper procedures for larger fires that require fire trucks and/or evacuation.

In addition, a secondary access may be provided through an easement on the lands to the south of the Plan Area to provide for emergency access, if required. A signed letter of authorization from southern landowners can be found in Appendix B.

4.0 STATUTORY PLAN REVIEW

The Lawrence Lake Subdivision ASP has been prepared in accordance with the applicable statutory plans. The ASP conforms with the Municipal Development Plan in the following ways:

Policy	Conformance
<p>2.1.2 (f) Has access to existing roads or includes internal roads to service the development, which shall be constructed by the developer to municipal standards.</p>	<p>Access to Lawrence Lake ASP will be off Township Road 693 which is an existing roadway, and an internal road will be built to service all lots within the ASP area.</p>
<p>2.2.1 Parts of some Community Areas are subject to a potential flood hazard. No permanent structures shall be permitted within the flood plain of any river, stream, or lake shore unless an assessment prepared by a qualified professional determines that the flood plain does not impact the development, or if a proper flood proofing techniques are applied. A certificate from a qualified, registered professional engineer shall be required to confirm that the development has been properly flood proofed.</p>	<p>The ASP Area is not within a flood plain of Lawrence Lake.</p>

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<p>2.2.2 In accordance with the Act, Environmental Reserve (ER) may, at the time of subdivision, be applied to the lands that are subject to a flood hazard, contain sensitive habitat, or are subject to potential erosion due to steep or unstable slopes.</p> <p>2.2.4 (a) For subdivisions adjacent to waterbodies, ER should include sufficient shore lands so as to provide adequate protection for waterfowl and fish habitat, and public shoreline access in accordance with the Act. In these areas, the ER allocation may be supplemented by Municipal Reserve (MR) where the additional lands are required to accommodate parks or playgrounds areas, trails corridors or walkways, or parking areas.</p>	<p>Significant ER land has been dedicated along the northern and western boundaries of the ASP Area, along Lawrence Lake.</p> <p>The ER lands include shore lands and MR land is provided in addition to the ER land to provide public outdoor recreation opportunities and serve as a buffer between the seasonal residential lots and the ER lands.</p>
<p>2.3.1 The MD should be aware of “FireSmart: Protecting Your Community from Wildfire” design principles when preparing Area Structure Plans and designing subdivisions, and minimize the potential for wildfire damage.</p>	<p>Refer to Section 3.10 for conformance to FireSmart Policies within the MDP.</p>
<p>2.4.4 All subdivision and development proposals shall have access to developed roads. The provision of roads associated with a proposed subdivision or development are the sole responsibility of the developer.</p>	<p>The Lawrence Lake ASP Area will be serviced by an internal road that will be built by the landowners and will connect with Township Road 693.</p>

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5.0 IMPLEMENTATION

5.1 Development Phasing

The development is proposed to occur in multiple phases, with Phase 1 anticipated in 2024. Future phasing timing is dependent on market factors beyond the scope of this ASP, as well as the implementation of recommendations specifically from the TIA.

Phase 1 consists of 8 lots being developed along the internal public roadway of the ASP area with 6 lots being developed north of the public roadway, and 2 lots being developed south of the public roadway. The access road and public interior local roadway are all part of the proposed Phase 1 development. Following the development of the first 8 lots, traffic counts and the TIA's projected traffic volumes should be compared to determine accuracy and any improvements required.

Phase 2 consists of the remaining lots being developed as well as the stormwater management facility and can be considered once traffic generation numbers and counts have been verified in accordance with TIA recommendations.

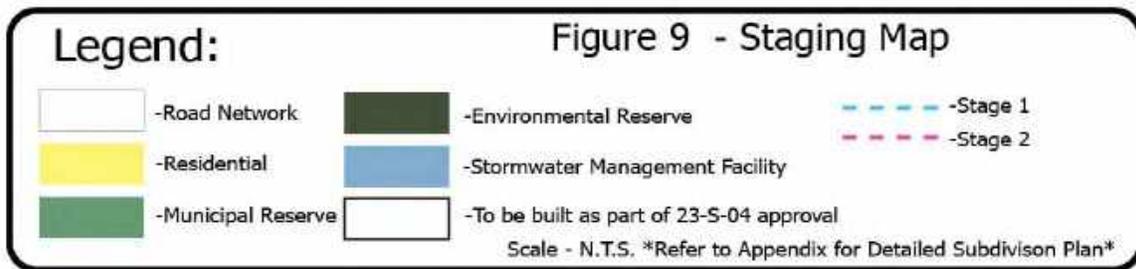
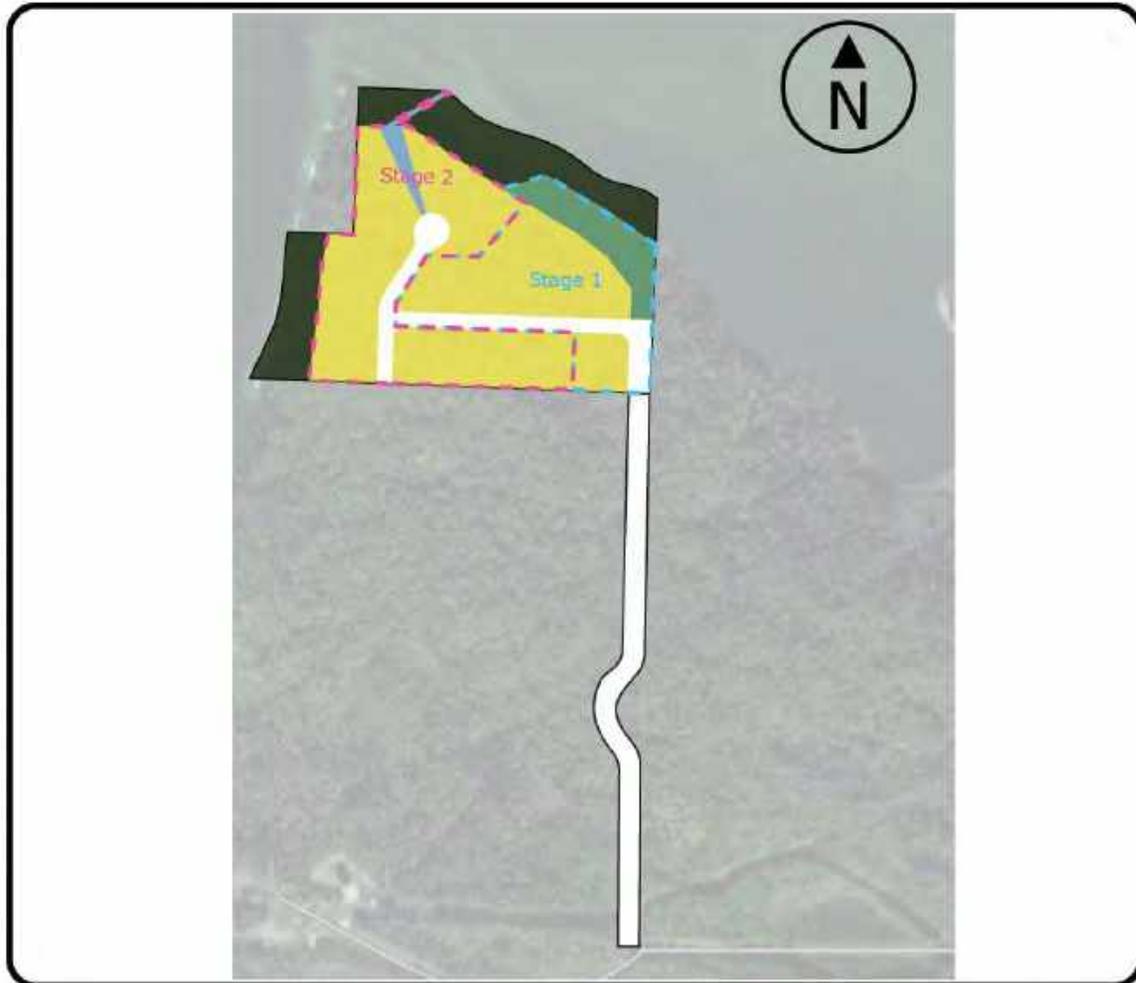
Refer to Figure 9 for a general summary of the proposed phases.



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Objective 5.0	
To grow logically and efficiently in a manner that does not adversely impact the fiscal status of the M.D. of Lesser Slave River's services.	
Policies	
5.1	The development of the Plan area shall enable redistricting of the M.D. of Lesser Slave River's Land Use Bylaw in accordance with the designated land uses outlined in Figure 3 – Land Use Concept.
5.2	Site grading should take into consideration existing topography to minimize grading requirements over the Plan area.
5.3	The development of the Plan area shall follow the indicated phasing plan established in Figure 9 – Staging Map.
5.4	A Cottage Association may be established to collectively manage the community waste and implement fire smart principles.
5.5	Development shall protect the environment at all stages of development, including construction, operation, and site reclamation.
5.6	Prior to stripping and grading of the Plan area, a grading plan and erosion and sediment control report shall be submitted to the satisfaction of the M.D. of Lesser Slave River. This plan shall depict road and swale grades and include public utility lot areas, stormwater management plans and an erosion and sediment control plan and shall be approved by the M.D. of Lesser Slave River.
5.7	Subdivision and development of the lands shall be in accordance with the M.D. of Lesser Slave River's policies and regulations at the time of subdivision and development.
5.8	Subdivision and development of the lands shall meet all provincial and federal regulations at the time of subdivision and development.

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5.2 Supporting Studies

The following additional studies were completed as part of this ASP process:

- Lawrence Lake Subdivision Biophysical completed by Green Plan Environmental Consulting Ltd. in July 2022
- Geotechnical Investigation completed by Pryco in March 2022
Lawrence Lake Subdivision TIA completed by ISL in June 2023
- Stormwater Management Report completed by Bolson Engineering and Environmental Services in July 2023
- Tentative Plan of Subdivision, including top-of-bank delineation and suggested ER boundaries prepared by PALS Geomatics in May 2023



ENS

Appendix A: Tentative Subdivision Plan



E1NS

Appendix B: Easement Authorization Letter (SW-24-69-25-W4M)

August 31, 2023
Ann Holden
Planning & Development Officer
MD of Lesser Slave River
RE: Lawrence Lake ASP – Secondary/Emergency Access
through SW-24-69-25-W4M

Dear Ann,

We the undersigned, being the registered owners of SW-24-69-25-W4M, hereby grant authority to register easements through our property to provide emergency access to support the proposed development of NW-24-69-25-W4M as part of the proposed Lawrence Lake ASP.

<u>Vicki Jones</u>	<u>Tim Jones</u>
PRINTED NAME	PRINTED NAME
<u></u>	<u></u>
SIGNATURE	SIGNATURE
<u>Sept 6/23</u>	<u>Sept 6/23</u>
DATE	DATE



Municipal District of
Lesser Slave River 124

Area Structure Plan

LAWRENCE LAKE

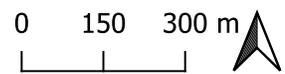


- Property of Interest
- Provincial Highway
- Cadastre
- MD Boundary

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Scale - 1 : 12,000

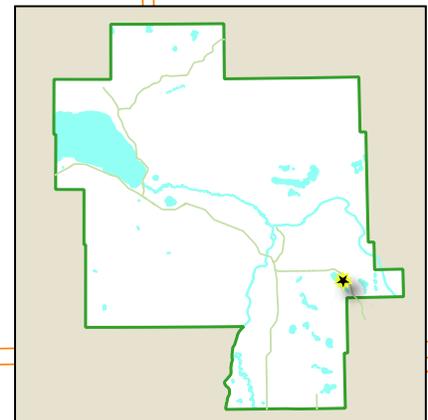
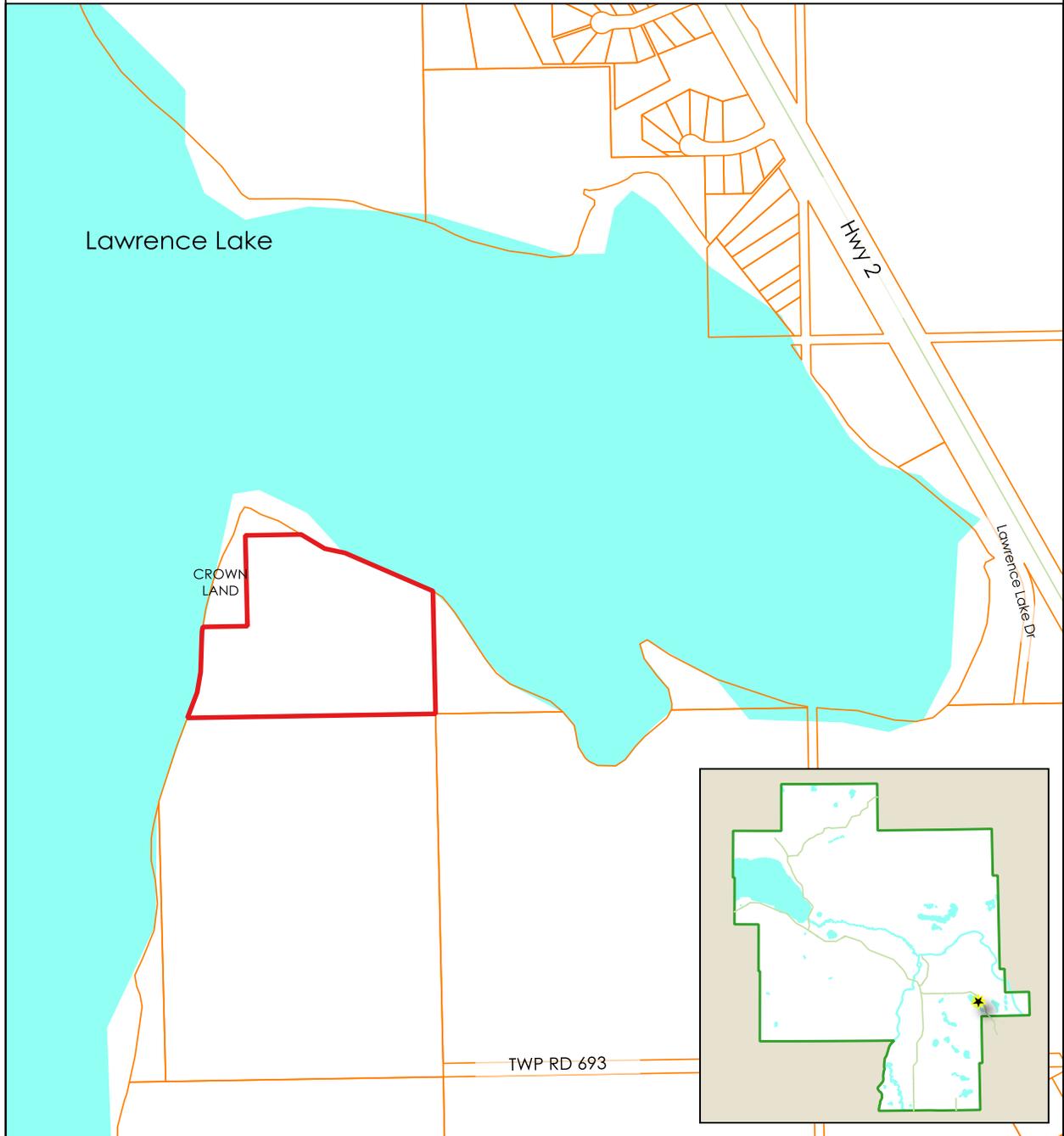
Map Print Date : April 30, 2024



Municipal District of
Lesser Slave River 124

Area Structure Plan

LAWRENCE LAKE



- Property of Interest
- Provincial Highway
- Cadastre
- MD Boundary

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0 150 300 m

Scale - 1 : 12,000

Map Print Date : April 30, 2024

Municipal District of Lesser Slave River no.124

Wednesday June 12, 2024

Lesser Slave River

EVENTS IN YOUR MD

Council Meetings: June 12 and 26, 10:00am

Council Meetings and Committee of the Whole Meetings are open to the public.

Take part in the 2024 Municipal Census Survey

Don't Disappear! Be Counted This Year!

The ongoing Municipal Census Survey aims to collect vital information about the population and demographics within our municipality. Enumerators are currently visiting households, however residents are still encouraged to complete the census survey online via mtr.ca.

By taking part in the census, you are helping MD Council and senior leadership allocate resources more effectively, ensuring that resident needs are met as accurately and efficiently as possible. By now, residents will have received their Secure Access Pin (SAP) via regular mail to allow their participation in the census online. If you have not received your SAP, please contact the MD's Municipal Census Coordinator at 780.849.4888 or toll-free at 1.866.949.4888.

Enumerators began door-to-door data collection on May 13, carrying out visits from 9:00am to 9:00pm until the census period ends on July 29. Please pay attention to vehicles in your community bearing an MD of Lesser Slave River logo on the side door.

Vehicle makes and models: Dodge, Camber (light brown), Toyota Tacoma (Green), Ford Bronco (Blue), and Volkswagen Golf (Grey). Enumerators will have identification badges showing both their name and the MD logo. Census enumerators may also reach out to households by phone. **EVERYONE Counts. EVERYONE Matters. Let's Count TOGETHER!**

Why BearSmart is necessary

Human activities in bear territory have increased, leading to more fragmented bear habitats and frequent bear-human encounters.

Bears will consume any available food, regardless of its location in human use areas or whether it is a natural part of their diet. When bears learn to link humans and human-use areas with easily accessible, high-calorie meals, they become food-conditioned. Preventing bears from seeking out human food sources poses a significant challenge in the future. Every hike, camp, angler, or cyclist plays a vital role in preventing bears from becoming food-conditioned. **Practice BearSmart habits: store your food and garbage in bear-proof containers.**

Avoid an encounter: the best approach

You can run into a bear anywhere here in Lesser Slave. Bears generally prefer to avoid people. However, encounters between bears and people do occur. The MD has received numerous reports of increased bear sightings and interactions with humans. Knowing how to avoid an encounter with a bear is the best way to enjoy the region, safely.

In the event you do come across a bear, it is important to know a bit about bear behaviour. How we respond in an encounter with a bear really depends on the type of interaction that is taking place. Bears are extremely sensitive to the stress of human activity. You can help protect them by avoiding encounters with them.

Smith remote office for residents

To provide better service to the residents of Smith and the surrounding area, the MD is operating a remote office at the Smith Community Centre **every Wednesday until JUNE 26**, from 9:00am until 3:00pm. **Administrators will be on-site to accept payments for taxes and utilities, and will have commonly-used forms available for your convenience.**

MD Recruiting for HR Manager

The MD of Lesser Slave River is seeking a full-time, permanent Human Resource Manager, this position works out of the main office in Slave Lake. The Human Resource Manager provides effective leadership and mentorship with both employees and management personnel. Oversees strategic plans and development of Human Resources functions and the daily operations of all HR systems to streamline HR processes and data management. Provide employees and Senior Leadership Team with the necessary tools and resources to support the Municipality's HR programs and initiatives. [Visit: info@mdlsr.ca](mailto:info@mdlsr.ca)

Fire permits are required by law

Burning without a valid permit or outside of the permit conditions can result in fines of up to \$600.

Fire permits are mandatory for all outdoor burning activities, excluding campfires. Fire permits are **free of charge** and can be obtained online at <https://www25.gov.on.ca>. Alternatively you can request your permit by contacting your Forestry Office. For Slave Lake, dial 780.849.7377, and for Lac La Biche, call 780.623.5388. To report wildfires, phone 310-FIRE (3473) for a convenient, toll-free service that is available 24/7.

Thinking about celebrating the long weekend with fireworks?

Considering celebrating the upcoming Canada Day long weekend with fireworks? The use of fireworks in the Forest Protection Area requires written permission from a Forest Officer. Failure to do so could result in a fine of \$500. A site inspection will also be required.

Furthermore, if a wildfire is ignited due to your actions, you may be held responsible for the cost of firefighting. To ensure a smooth process, please make sure to schedule an inspection by contacting your local Forestry Office at least three days before the long weekend — Slave Lake: 780.849.7377 or Lac La Biche: 780.623.5388.

Notice of Public Hearing

Proposed Lawrence Lake Area Structure Plan Bylaw 2024-11

CORRECTION: At this time the initial date of the Public Hearing for the proposed Lawrence Lake Area Structure Plan Bylaw 2024-11, which was set for June 12, has been rescheduled to June 26.

MD COUNCIL CHAMBERS: JUNE 26, 2024, 10:15AM

The purpose of the bylaw is to adopt the Lawrence Lake Area Structure Plan which will guide future development of the quarter section legally described as **NW 24-69-25-W04**.

If you or any group of citizens either support or are opposed to this proposal by an amendment and wish to inform MD Council, please deliver a letter addressing your concerns to the MD Administration Office no later than Thursday, June 10, 2024, at 4:30pm. Otherwise, a verbal presentation can be made at the Public Hearing on **JUNE 26, 2024, at 10:15am** at the MD Council Chambers. For a copy of the proposed bylaw with the Area Structure Plan and to register to attend the Public Hearing, please contact info@mdlsr.ca.

For more information, contact Rudolf Lieberberg, Director of Planning, Utilities, & Protective Services, Box 727, 3800 15 Ave SE, Slave Lake, AB T0G 2G0, tel: 780.849.4888, fax: 780.819.4929.



Main Administration Office
3000 15 Avenue SE
Slave Lake AB T0G 2A5

Fairbush Sub-Office
66001 Range Road 20
Fairbush AB T0G 0T0

info@mdlsr.ca
780.849.4888

mdlsr.ca



Wednesday June 19, 2024

Lesser Slave River

EVENTS IN YOUR MD

Council Meeting(s): June 26, 10:00am

Council Meetings and Committee of the Whole Meetings are open to the public.

MD Offices closed on Canada Day

Friendly reminder that the MD office in Slave Lake and sub-office in Flatbush will be closed **MONDAY, JULY 1** for Canada Day, and will reopen for regular business hours the following day. How will you celebrate Canada Day this year? Show your Canadian spirit and celebrate Canada's Birthday here at home! Check out mdslr.ca.

Urgent 24/7 call-in support available for residents of MD

The MD offers a 24/7 reception service to address requests outside of regular office hours. This service connects residents with the necessary departments and resources during evenings and weekends — including holidays. To contact an MD department after 4:30pm on weekdays, or at any time during the weekends, residents can simply phone the main administration office at 780-849-4888 (toll-free 1-866-449-4888) and speak with a live agent.

However, this service is intended for urgent or time-sensitive requests only. For non-urgent concerns, residents can submit a complaint or service request during regular business hours or via the alert the MD form at mdslr.ca/alerts-form. In the event of a fire, police, medical or other emergency requiring immediate assistance: DIAL 9-1-1.

Fire permits are required by law

Burning without a valid permit or outside of the permit conditions can result in fines of up to \$400. Fire permits are mandatory for all outdoor burning activities, including campfires.

Fire permits are **free-of-charge** and can be obtained online at firepermits.alberta.ca. Alternatively, you can request your permit by contacting your Forestry Office. For Slave Lake, dial 780-849-7377, and for Lac La Biche, call 780-623-5388. To report wildfires, phone **310-FIRE (3473)** for a convenient, toll-free service that is available 24/7.

Planning to celebrate your long weekend with fireworks?

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Furthermore, if a wildfire is ignited due to your actions, you may be held responsible for the cost of firefighting. To ensure a smooth process, please make sure to schedule an inspection by contacting your local Forestry Office at least 3 days before the long weekend — Slave Lake: 780-849-7377 or Lac La Biche: 780-623-5388.

Complete your 2024 Municipal Census Survey today!

42% of our MD residents have already completed the 2024 Census. Join them by completing your Census Survey online or in-person today!

The ongoing Municipal Census Survey aims to collect vital information about the population and demographics within our municipality.

Enumerators are currently visiting households, however residents are still encouraged to complete the census survey online via mdslr.ca.

By taking part in the census, you are helping MD Council and senior leadership allocate resources more effectively, ensuring that residents' needs are met as accurately and efficiently as possible. By now, residents will have received their Secure Access PIN (SAP) via regular mail to allow their participation in the census online. If you have not received your SAP, please contact the MD's Municipal Census Coordinator at 780-849-4888 or toll-free at 1-866-449-4888.

Enumerators began door-to-door data collection on May 13, carrying out visits from 9:00am to 9:00am until the census period **ENDS ON JULY 29**. Please pay attention to vehicles in your community bearing an MD of Lesser Slave River logo on the side door.

Vehicle makes and models: Dodge Caliber (light brown), Toyota Tacoma (Green), Ford Bronco (Blue), and Volkswagen Golf (Grey). Enumerators will have identification badges showing both their name and the MD logo. Census Enumerators may also reach out to households by phone.

Smith remote office for residents

To provide better service to the residents of Smith and the surrounding areas, the MD is operating a remote office at the Smith Community Complex **every Wednesday until June 26**, from 9:00am until 3:00pm. **Administrators will be available to accept payments for taxes and utilities**, and will have commonly used forms available for your convenience.

Alberta Open Farm Days

Open Farm Days is a popular event that serves as a catalyst for agritourism and rural sustainability. Connect with your rural neighbours at this year's Alberta Open Farms Days. Save the dates for **AUGUST 17 AND 18**. The primary goal of this annual event is to bring Albertans together through interactive educational activities focused on agriculture, offering a chance to explore the roots of our food. Check out albertaopenfarmdays.ca.

Notice of Public Hearing

Proposed Lawrence Lake Area Structure Plan Bylaw 2024-11

CORRECTION: Kindly note that the initial date of the Public Hearing for the proposed Lawrence Lake Area Structure Plan Bylaw 2024-11, which was set for June 12, has been rescheduled to June 26.

MD COUNCIL CHAMBERS: JUNE 26, 2024, 10:15AM

The purpose of the bylaw is to adopt the Lawrence Lake Area Structure Plan which will guide future development of the quarter section legally described as **NW 24-60-25-W4M**.

If you or any group of citizens either support or are opposed to this proposed by-law amendment and wish to inform MD Council, please deliver a letter addressing your concerns to the MD Administration Office no later than Thursday, June 20, 2024, at 4:30pm. Otherwise, a verbal presentation can be made at the Public Hearing on **JUNE 26, 2024**, at 10:15am at the MD Council Chambers. For a copy of the proposed by-law with the Area Structure Plan and to register to attend the Public Hearing, please contact info@mdslr.ca.

For more information, contact Radloff Liebenberg, Director of Planning, Utilities, & Protective Services, Box 722, 3000 15 Ave SE Slave Lake AB T0G 2A0 tel: 780-849-4888 fax: 780-849-4939.



To view a larger version of this map, visit mdslr.ca/planning.

Main Administration Office
3000 15 Avenue SE
Slave Lake AB T0G 2A3

Flatbush Sub-Office
860061 Range Road 20
Flatbush AB T0G 0Z0

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780.849.4888

mdslr.ca

