



AGENDA

Municipal Planning Commission
Tuesday, July 16, 2024 - 1:30 PM - MD Council Chambers

Page

CALL TO ORDER

ADOPTION OF AGENDA

- 2.1 July 16, 2024, Municipal Planning Commission Agenda

Proposed Motion: Move to adopt the July 16, 2024, Municipal Planning Commission Agenda as presented.

ADOPTION OF MINUTES

- 3.1 June 18, 2024, Municipal Planning Commission Meeting Minutes 4 - 8

Proposed Motion: Move to adopt the June 18, 2024, Municipal Planning Commission Meeting Minutes as presented.

[20240618 - MPC Minutes - DRAFT](#)

DEVELOPMENT PERMIT APPLICATIONS

- 4.1 **24-D-020 Arbeau** 9 - 34
Accessory Building to a Discretionary Use

Proposed motion: That the Municipal Planning Commission APPROVE Development Permit 24-D-020 for an ACCESSORY BUILDING TO THE Dwelling, Live Work Unit subject to the conditions as per the attached report.

[1. MPC RPT 24-D-020 Arbeau](#)

[2. Site Inspection Photos](#)

[3. Application Redacted](#)

[4. Title](#)

[5. Caveat - Redacted](#)

[6. Location Map - Imagery 2](#)

[7. Location Map - Imagery](#)

[8. Location Map - Plain](#)

[9. Zoning Map](#)

- 4.2 **24-D-023 Caron** 35 - 47
Discretionary Use – Dwelling, Single Family in a Flood Plain

Proposed motion: That the Municipal Planning Commission APPROVE Development Permit 24-D-023, DWELLING, SINGLE FAMILY subject to the conditions as per the attached report.

- [1. MPC report 24-D-023](#)
- [2. redact application](#)
- [3. Location Map 23-D-023](#)
- [4. zoning map 24-D-025](#)
- [5. 2024.07.09 LTR to MD 124 - No Concerns](#)

- 4.3 **24-D-025 Caron** 48 - 58
Discretionary Use – Home Occupation & Eating and Drinking Establishment in a Flood Plain

Proposed motion: That the Municipal Planning Commission APPROVE Development Permit 24-D-025, HOME OCCUPATION & EATING AND DRINKING ESTABLISHMENT subject to the conditions as per the attached report.

- [1. MPC report 24-D-025](#)
- [2. Application Redacted](#)

SUBDIVISION APPLICATIONS

- 5.1 **22-S-03 Jones** 59 - 85
Multi-Lot Subdivision – Lawrence Lake

Proposed motion: That the Municipal Planning Commission APPROVE Subdivision Application for 22-S-03 with the conditions as per the attached report.

- [1. 2024 MPC report 22-S-03](#)
- [2. site inspection photos](#)
- [3. 2024 03 28 Application Redacted](#)
- [4. 2024 03 20 25 Lot Subdivision Map](#)
- [5. location map](#)
- [6. Lawrence Lake ASP Stormwater Plan with elevations- July 2023](#)

- 5.2 **24-S-01 Barton & Willis** 86 - 106
Boundary Adjustment

Proposed motion: That the Municipal Planning Commission APPROVE Subdivision Application for 24-S-01 with conditions as per the attached report.

- [1. MPC report 24-S-01](#)
- [2. Application 24-S-01 Redacted](#)
- [3. Tentative Plan 24-S-01](#)
- [4. location map 24-S-01](#)
- [5. zoning map 24-S-01](#)
- [6. elevation map 24-S-01](#)

- 5.3 **24-S-05 Emes** 107 - 138
Boundary Adjustment

Proposed motion: That the Municipal Planning Commission conditionally APPROVE Subdivision Application 24-S-05 for a Boundary Adjustment with the conditions as per the attached report.

- [1. MPC report 24-S-05 Emes](#)
- [2. Site Inspection Photos](#)
- [3. Subdivision Application Redacted](#)

[3. 2024 03 28 Application_Redacted](#)

[5. Location Map - Plain](#)

[6. Location Map - Imagery](#)

[7. Zoning Map](#)

[8. Elevation Map](#)

5.4 **24-S-06 Mulrooney
First Parcel Out**

139 - 163

Proposed motion: Move to conditionally approve Subdivision Application 24-S-06 with conditions as per the attached report.

[1. MPC report 24-S-06](#)

[2. Site Inspection Photos](#)

[3. Subdivision Application_Redacted](#)

[4. 24E-058 LEG-Subdivision_Prelim](#)

[5. Location Map - Aerial](#)

[6. Location Map - Plain](#)

[7. Zoning Map](#)

[8. Elevation Map](#)

SUBDIVISION EXTENSION REQUESTS

ROUND TABLE

NEXT MEETING

8.1 Next Municipal Planning Commission Meeting on August 20, 2024, at 1:30 p.m.

ADJOURNMENT

MINUTES

**Municipal Planning Commission Meeting
June 18, 2024 1:30 p.m.
MD Council Chambers**

MEMBERS PRESENT Lana Spencer Commission Member (Chair)
 Debbie Parsons Commission Member
 Brad Pearson Commission Member
 Darren Fulmore Commission Member
 Carol Stockman Commission Member
 Becky Pieffer Commission Member

MEMBERS ABSENT Norm Seatter Commission Member (Vice Chair)

IN ATTENDANCE Samantha Dyck Development Authority, MDLSR
 Liz Krumes Recording Secretary, MDLSR
 Sandra Rendle Associate Director Legislative Services

CALL TO ORDER Deputy Reeve L. Spencer called the meeting to order at 1:30 p.m.

INTRODUCTIONS Introductions of Municipal Planning Commission members, administration employees were made.

ADOPTION OF AGENDA **MOTION: MPC 020-24**
 Moved by B. Pearson to adopt the June 18, 2024 Municipal Planning Commission Agenda as presented. **CARRIED**

ADOPTION OF MINUTES **MOTION: MPC 021-24**
 Moved by D. Fulmore to adopt the April 16, 2024 Municipal Planning Commission Meeting Minutes as amended.
 - under Appointment of Chair – after B. Pearson nominated L. Spencer
 - nominations called a second time, nominations called a third time, nominations ceased.
 - under Appointment of Vice Chair – after D. Fulmore nominated N. Seatter
 - nominations called a second time, nominations called a third time, nominations ceased. **CARRIED**

DEVELOPMENT APPLICATIONS

24-D-011 Applicant: Donna Eben
 Development File #: 24-D-011
 Legal Land: NE-1-73-6-W5
 Rural Address: D 730072 RGE RD 60
 Zoning: Residential Un-Serviced District (RUS)

MOTION: MPC 022-24
 Moved by C. Stockman to approve Development Permit 24-D-011 with the following conditions.
 1. **Must meet minimum setback of:**
 Front Yard - 7.5 meters (24.6 feet) from property line
 North Side Yard - 7.5 meters (24.6 feet) from property line
 South Side Yard - 7.5 meters (3.9 feet) from property line
 Rear Yard - 30.0 meters (100 feet) from property line (Top-of-Bank)
 NOTE: A minimum setback of 30 m (100) shall be provided for all buildings from the top-of-bank of any watercourse, from the top of the

ravine or other topographical feature in which a watercourse is located, or from any water body.

2. The developer shall be made aware that the proposed development lies within a 1 in 100-year floodplain. Due to the potential for flood activity in the area, the Municipal District of Lesser Slave River No. 124 Development Authority requires that the developer implement preventative measures and enter into a written agreement that can be caveated or otherwise registered against the titles of the affected lands, that:
 - a) the developer and/or any subsequent landowners shall be responsible for any damage or loss caused by flooding, erosion or subsidence;
 - b) the developer and/or any subsequent landowners shall indemnify the Municipal District of Lesser Slave River No. 124, and related parties, against any loss, damage or costs, etc.; and
 - c) development on the lands shall be restricted so as to comply with the preventative measures referred to in subsection 6.1.3 of the Land Use Bylaw 2021-17 and in any further or other manner that the Development Authority deems appropriate.
3. Prior to the commencement of construction, the Municipal District of Lesser Slave River No. 124 and the Province of Alberta requires that all developers obtain Building Permits, Plumbing Permits, Gas Permits, Electrical Permits, and Private Sewage and Disposal System Permits prior to the construction or location of a building. The developer shall contact certified building inspectors to obtain all relevant permits and upon issuance, shall provide a copy to the Municipal District immediately.
4. The developer is responsible for ensuring that all relevant onsite utilities (water, sewer, telephone, gas, power, etc.) are secure before commencing excavation and construction.
5. BUILDING PERMITS WILL ONLY BE ISSUED FOR HOMES THAT COMPLY WITH THE REQUIREMENTS OF THE New Home Buyer Protec on Act and is built by a person that holds the appropriate licence or authorization or is exempt from the requirement for a licence or authorization. For more information and updates: HomeWarranty.Alberta.ca and www.builderlicencing.alberta.ca or contact builderlicencing@gov.ab.ca or 1866-421-6929.
6. Any exterior lighting shall be directed so that the area illuminated is contained entirely within the site.
7. All decks greater than 0.6 m (2ft.) in height shall be attached to either the principal building or accessory building/structure. In no instance shall a deck be permitted to be attached to a recreational vehicle.
8. Decks shall remain uncovered and unenclosed; if they do become covered and enclosed, they shall be considered an addition to the principal building or an accessory structure and shall be required to meet all applicable regulations in their district and the Alberta Building Code.
9. It shall be the responsibility of the owner to place the modular home on a permanent foundation or base in accordance with the requirements of the Alberta Safety Codes Act.
10. Land within the setback areas of slopes and watercourses shall be kept in its natural state. Existing vegetation or tree removal shall not be permitted unless the Development Authority is satisfied, through the submission of a detailed geotechnical engineering study from a registered engineer, that the removal of the vegetation or trees will not have an adverse effect on the integrity of the slope. Where vegetation is to be retained a covenant shall be registered against the property preventing future removal or damage of the vegetation.

MINUTES
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June 18, 2024, 2024 1:30 p.m.

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11. The developer must ensure that proper permits are obtained for hauling oversized weight loads on any Municipal Roadway in conjunction with this project. Please contact the Transportation Department at info@mdlsr.ca for a road weight control special permit.
12. Seasonal dwellings: Buildings and/or structures that are used for accommodation but are not constructed to the Alberta Building Code or applicable CSA standards shall be considered seasonal dwellings and are not to be inhabited on a year-round basis, regardless of the district that they are located in.
13. Principal building height shall not exceed 10.6 meters (34.8 feet).
14. Where municipal water and/or sewer service is available the landowner/developer is responsible for all costs and fees associated with the provision of service to the property, as per Bylaw 2003-08.
15. The developer is encouraged to FireSmart buildings and proper es to guard against wildfires. For more information, go to <https://livefiresmart.ca/> OR <https://firesmartcanada.ca/>.
16. The developer shall keep site clean and orderly.
17. The developer must obtain any and all necessary permits and approvals from any and all other regulatory bodies which may have jurisdiction over this proposal.
18. If the Development Permit has been appealed to the Subdivision and Development Appeal Board or the Lands and Property Tribunal, the development shall not commence until after the board of appeal has rendered a decision.
19. Any appeal of this decision lies to the Land and Property Rights Tribunal pursuant to section 685(2.1) of the Act.
20. The Development Permit is valid for a 12-month period starting from the Date of Decision.
21. The development will be carried out in accordance with the approved application, **approved plans at the grade of 580.0 m above sea level** and all the conditions contained in this Development Permit Notice of Decision.
22. The development shall not commence until 21 days after the Date of Decision.
23. If the Development Permit has been appealed to the Subdivision and Development Appeal Board or the Lands and Property Rights Tribunal, the Development Permit will be valid for a 12-month period starting from the date of decision by the board hearing the appeal and in accordance with all conditions placed on it by the board.
24. This permit does not excuse any violation of any regulation or act which may affect the proposed project.
25. **Water and wastewater facilities shall be provided, at the developer's expense to the dwelling, and meet Provincial Regulations from a Safety Codes Agency and meet the Town of Slave Lake's Servicing Standards for future development.**

CARRIED

L. Krumes left at 2:15pm

24-D-015

Applicant: Forsyth
Development File #: 24-D-015
Legal Land: Plan 9521196; Block 3; Lot 5A (NE-1-73-26-W5)
Rural Address: 5 Olsen Court
Zoning: Residential Un-Serviced District (RUS)

MOTION: MPC 023-24

Brad Pearson to approve development permit 24-D-015 for **Dwelling, Single-Detached and Variance to the rear yard setback from 7.5m to 3.2m** with the following conditions:

1. Must meet minimum setback of:
 Front Yard - 7.5 meters (24.6 feet) from property line
 Side Yard - 7.5 meters (24.6 feet) from property line
 Rear Yard (Facing the lake)- 3.2 meters (10.6 feet) Variance from 7.5 meters (24.6 feet) to 3.2 meters (10.6 feet) from the property line.
 NOTE: A minimum setback of 30 m (100 ft) shall be provided for all buildings from the top of bank of any watercourse, from the top of the ravine or other topographical feature in which a watercourse is located, or from any water body.
2. Prior to the commencement of construction, the Municipal District of Lesser Slave River No. 124 and the Province of Alberta requires that all developers obtain Building Permits, Plumbing Permits, Gas Permits, Electrical Permits, and Private Sewage and Disposal System Permits prior to the construction or location of a building. The developer shall contact certified building inspectors to obtain all relevant permits and upon issuance, shall provide a copy to the Municipal District immediately.
3. Principal building height shall not exceed 10.6 meters (34.8 feet).
4. **BUILDING PERMITS WILL ONLY BE ISSUED FOR HOMES THAT COMPLY WITH THE REQUIREMENTS OF THE New Home Buyer Protection Act** and is built by a person that holds the appropriate licence or authorization or is exempt from the requirement for a licence or authorization. For more information and updates: HomeWarranty.Alberta.ca and www.builderlicencing.alberta.ca or contact builderlicencing@gov.ab.ca or 1866-421-6929.
5. Developer is responsible for ensuring that all relevant onsite utilities (water, sewer, telephone, gas, power, etc.) are secure before commencing excavation and construction.
6. **The developer must ensure that proper permits are obtained for hauling oversize weight loads on any Municipal Roadway in conjunction with this project. Please contact the Transportation Department at info@mdlsr.ca for a road weight control special permit.**
7. All decks greater than 0.6 m (2 ft) in height shall be attached to either the principal building or accessory building/structure. In no instance shall a deck be permitted to be attached to a recreational vehicle.
8. Decks shall remain uncovered and unenclosed; if they do become covered and enclosed, they shall be considered an addition to the principal building or an accessory structure and shall be required to meet all applicable regulations in their district and the Alberta Building Code.
9. Any exterior lighting shall be directed so that the area illuminated is contained entirely within the site.
10. There shall be at least one (1) on-site parking stall for each dwelling unit on the lot. (up to four-plex)
11. The relocation of any building shall meet the Alberta Building Code and any applicable safety code standard.
12. Land within the setback areas of slopes and watercourses shall be kept in its natural state. Existing vegetation or tree removal shall not be permitted unless the Development Authority is satisfied, through the submission of a detailed

geotechnical engineering study from a registered engineer, that the removal of the vegetation or trees will not have an adverse effect on the integrity of the slope. Where vegetation is to be retained a covenant shall be registered against the property preventing future removal or damage of the vegetation.

- 13. All modular homes must have the appropriate provincial and/or federal certification. If a particular modular home has been damaged or structurally altered, the modular home shall be certified as safe by an accredited engineer.
- 14. It shall be the responsibility of the owner to place the modular home on a permanent foundation or base in accordance with the requirements of the Alberta Safety Codes Act.
- 15. No other buildings or use are allowed on this lot without municipal authorization.
- 16. The developer must obtain any and all necessary permits and approvals from any and all other regulatory bodies which may have jurisdiction over this proposal.
- 17. This permit does not excuse any violation of any regulation or act which may affect the proposed project.
- 18. **A certificate or a Real Property Report certified by a registered surveyor be provided to the Development Authority upon completion of the footings or pilings for the development and prior to commencement of any other construction relating to the development, indicating that the development, specifically the location and elevation of the development, is in accordance with the approved development permit application or any conditions of approval of that application.**
- 19. The development shall not commence until 21 days after the Date of Decision.
- 20. The Development Permit is valid for a 12-month period starting from the Date of Decision.
- 21. If the Development Permit has been appealed to the Subdivision and Development Appeal Board or the Lands and Property Tribunal, the development shall not commence until after the board of appeal has rendered a decision.
- 22. If the Development Permit has been appealed to the Subdivision and Development Appeal Board or the Lands and Property Rights Tribunal, the Development Permit will be valid for a 12-month period starting from the date of decision by the board hearing the appeal and in accordance with all conditions placed on it by the board.
- 23. The development will be carried out in accordance with the approved application, approved plans and all the conditions contained in this Development Permit Notice of Decision.
- 24. Any appeal of this decision lies to the Land and Property Rights Tribunal pursuant to section 685(2.1) of the Act.

DEFEATED

ROUNDTABLE

ADJOURNMENT

MOTION: MPC 024-24

Moved by B. Peiffer to adjourn the meeting at 2:22 p.m.

CARRIED

The Next Municipal Planning Commission meeting is **Tuesday, July 16, 2024 at 1:30 p.m.**

Development Authority

Chairperson



Lesser Slave River

Municipal Planning Commission

Subject:	Development Permit Application
Date:	7/16/2024
Presented By:	Samantha Dyck
Attachments:	Application, Site Photos, Maps, Title, Caveat

File Number	24-D-020
Land Use District	Light Industrial (LI)
Community:	Old Smith HWY
Legal Location	NW-3-73-4-W5M; Plan 152 5303, Block 2, Lot 3
Applicant:	Mary Arbeau
Landowner(s):	Benjamin & Mary Arbeau

PURPOSE:

To consider a Development Permit for an **Accessory Building to a Discretionary Use – Dwelling, Live Work Unit.**

BACKGROUND:

This parcel is located along the Old Smith Highway in an area that is zoned Light Industrial. The current owners purchased this property in 2022 to live on and run their trucking company from with their son and his wife.

In 2022 a permit was issued to the applicants for a Dwelling. In 2023 the owners obtained permits to build a Dwelling, Live work Unit (shouse), a Heavy Truck & Equipment Storage Use and two (2) sea cans.

In reviewing the title of the property, the MDLSR has a caveat on the property restricting development to within mid-July to mid- February. This caveat appears to be from the time that the subdivision was created as a request from the province due to the impact to caribou herds in the area.

SITE ANALYSIS:

The property is 10.06 acres and currently has one dwelling on-site, as well as a greenhouse, two sea cans, a couple of semis, and a partially built shop. The applicant also has an RV and shed on-site close to the development area. During the site inspection the property was quite wet due to the recent heavy rains. That said, the areas where the buildings are located and where the requested buildings will be located, were dry and higher in elevation. The lot has plenty of space to continue developing and adding to the business use.

AGENDA ITEM #4.1

Servicing Type: Septic Field and Cistern
Soil type: CLI Class 4 (Soils in this class have severe limitations that restrict the range of crops or require special conservation practices.)
Topography: flat, low-lying lands
Farmland inventory: N/A
Flood risk: low – as can be seen on the mapping below, the property is quite flat with little elevation change, with 578 m for most of the property and the rear being 579 m above sea level.



Wetland inventory: Fen at the front of the property.



Thematics:

- Bog
- Fen
- Marsh
- Open Water
- Swamp

RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:

Municipal Development Plan
Section 2.1

Development in the Community Areas shall be predominantly residential in nature, with commercial, institutional, and light industrial development in appropriate locations which do not interfere with or

conflict with the predominant residential land use.

This property is within the Community Area designation of the MDP and is located in an area that is not primarily residential.

Land Use Bylaw

Section 7.6.1

To accommodate a range of light industrial uses that are dispersed across the MD, along with owner-operator residences in appropriate areas. This district would be located in areas that can access roads designed to accommodate heavy trucks and equipment traffic on a year-round basis.

Section 7.6.3

The following uses shall be discretionary and shall be evaluated for their appropriateness based off the criteria indicated. When carrying out the assessment, the Development Authority will be identifying if the impact is greater than a permitted activity and if so, whether the impact can be mitigated, remedied, or avoided. If it cannot, the application shall be declined.

DISCRETIONARY USE <i>(use definitions can be found in Section 15)</i>	POSSIBLE ASSESSMENT CRITERIA													
	VISUAL APPEARANCE	TRAFFIC/ACCESS	NOISE	ODOR	LIGHT	DUST	VIBRATION	ENVIRONMENTAL	MUNICIPAL INFRASTRUCTURE	FISCAL	CUMULATIVE	SAFETY	IMPACT ON LOSS OF LAND	COMPATIBILITY WITH ADJACENT LAND USES
Accessory Building(s) to Discretionary Uses									X		X	X		

This property is within the Light Industrial District and is contained within a Light Industrial Subdivision where owner-operator businesses are the norm. There are no concerns from Administration with regards to the criteria for assessment of the site.

BENEFIT/RISKS:

The benefit of allowing this development to proceed, is that it helps grow a family-owned business and allows them to have storage inside of a building rather than in the open.

FINANCIAL IMPLICATION:

Adding a permanent building on the site will result in a minor adjustment to the taxes imposed on the landowner.

PUBLIC ENGAGEMENT LEVEL/REFERRALS:

If this application is approved, the adjacent landowners will be notified. Additionally, the approval will be advertised in the Lakeside Leader and on the MDLSR website.

RECOMMENDED MOTION:

That the Municipal Planning Commission APPROVE Development Permit 24-D-020 for an ACCESSORY BUILDING to the Dwelling, Live Work Unit subject to the following conditions:

1. Must meet minimum setback of:
 - Front Yard - 7.5 meters (24.6 feet) from property line
 - East Side Yard - 7.5 meters (24.6 feet) from property line
 - West Side Yard - 7.5 meters (24.6 feet) from property line
 - Rear Yard - 7.5 meters (24.6 feet) from property line

NOTE: A minimum setback of 30 m (100 ft) shall be provided for all buildings from the top of bank of any watercourse, from the top of the ravine or other topographical feature in which a watercourse is located, or from any water body.
2. BUILDING PERMITS WILL ONLY BE ISSUED FOR HOMES THAT COMPLY WITH THE REQUIREMENTS OF THE New Home Buyer Protection Act and is built by a person that holds the appropriate licence or authorization or is exempt from the requirement for a licence or authorization. For more information and updates: HomeWarranty.Alberta.ca and www.builderlicencing.alberta.ca or contact builderlicencing@gov.ab.ca or 1866-421-6929.
3. Prior to the commencement of construction, the Municipal District of Lesser Slave River No. 124 and the Province of Alberta require that all developers obtain Building Permits, Plumbing Permits, Gas Permits, Electrical Permits, and Private Sewage and Disposal System Permits prior to the construction or location of a building. The developer shall contact certified building inspectors to obtain all relevant permits and upon issuance, shall provide a copy to the Municipal District immediately.
4. If an accessory building is constructed under the provision of subsection 8.1.3 and a main building or use is not developed within one (1) year of the issued development permit, the landowner shall be required to remove the accessory building unless an extension to the development permit has been granted by the Development Authority.
5. In all the districts, no accessory building may be built on a lot before a main building or main use is developed on the lot, except where:
 - a) an approved main building or use is developed on the lot within one (1) year of the date of issue of the development permit for the accessory building; or
 - b) the main building exists on an adjacent lot where the developer holds titles for both lots. If there is a title change for either lot, then the landowner of the lot with the accessory building shall remove the accessory building or develop a main building on the lot within one (1) year from the date of title change of either lot. The Development Authority shall register against the title this requirement when these circumstances arise.
6. Any exterior lighting shall be directed so that the area illuminated is contained entirely within the site.
7. No other buildings or use are allowed on this lot without municipal authorization.
8. The developer must obtain any and all necessary permits and approvals from any and all other regulatory bodies which may have jurisdiction over this proposal.
9. The developer is responsible for ensuring that all relevant onsite utilities (water, sewer, telephone, gas, power, etc.) are secure before commencing excavation and construction.
10. The developer shall keep site clean and orderly.

AGENDA ITEM #4.1

11. The development will be carried out in accordance with the approved application, approved plans and all the conditions contained in this Development Permit Notice of Decision.
12. The Development Permit is valid for a 12-month period starting from the Date of Decision.
13. Any appeal of this decision lies to the Land and Property Rights Tribunal pursuant to section 685(2.1) of the Act.
14. If the Development Permit has been appealed to the Subdivision and Development Appeal Board or the Lands and Property Tribunal, the development shall not commence until after the board of appeal has rendered a decision.
15. If the Development Permit has been appealed to the Subdivision and Development Appeal Board or the Lands and Property Rights Tribunal, the Development Permit will be valid for a 12-month period starting from the date of decision by the board hearing the appeal and in accordance with all conditions placed on it by the board.
16. This permit does not excuse any violation of any regulation or act which may affect the proposed project.

ALTERNATIVE MOTION:

1. That the Municipal Planning Commission REFUSE Development Permit 24-D-020 for an ACCESSORY BUILDING to the Dwelling, Live Work Unit due to the Accessory Building being for residential use on a Light Industrial site.

Prepared By: Samantha Dyck, Planning & Development Officer

Reviewed By: Ann Holden, Planning & Development Officer

Approved By: Rudolf Liebenberg, Director of Planning, Utilities, and Protective Services

**Site Inspection – Development Permit Application 24-D-020
Accessory Building to Dwelling, Live Work Unit**



View as we arrived at the site, it was quite wet, and the landowner was pumping water into this ditch.



View of the site to the north of where the Accessory Building is to be located.



This is the cistern area to be covered by the Accessory Building.



Current structures on the site adjacent to where the Accessory Building is to be place.



The red rectangle represents how the Accessory Building is to be located on the site as indicated by the landowner.



**Lesser Slave River
Planning & Development**

*FOR Accessory Building for Cistern Storage
+ personnel items,
etc. ex. mowers, Rakes
Shovels*

DEVELOPMENT PERMIT APPLICATION

I/We hereby make application under provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and form part of this application.

Application No.: **23-D-034**
Form Received: **June 4/24**

I/We understand that this application must contain the following:

STRUCTURE INFORMATION:		SITE INFORMATION:		BUILDING PLANS OUTLINING:	
<input checked="" type="checkbox"/> Proposed Structure	Proposed Use	Site Plan (page 4)	Size	Floor Plan	
<input type="checkbox"/> Existing Structure	Existing Use	Setbacks	Height	Exterior Finishes	

APPLICANT NAME:
[REDACTED]

POSTAL ADDRESS: [REDACTED] **POSTAL CODE:** [REDACTED]

E-MAIL: [REDACTED] **PHONE NUMBER:** [REDACTED]

Complete if different from applicant:

REGISTERED LANDOWNER NAME:
[REDACTED]

POSTAL ADDRESS: [REDACTED]

E-MAIL: [REDACTED] **PHONE NUMBER:** [REDACTED]

LAND LOCATION:
 N-W S-E S-W N-E OR 3 2 1525303
 Quarter Section Township Range Meridian PLAN Block LOT

TOTAL NUMBER OF:
 10.06 OR 4.07
 Acres Hectares

DESCRIBE THE EXISTING DEVELOPMENTS ON THE LAND:
Out an accessory building 22m for house for cistern storage, pump + water supplies, + personnel storage.

current dwelling



**Lesser Slave River
Planning & Development**

DEVELOPMENT PERMIT APPLICATION | SECTION 2

Application No.: 24-D-020

DESCRIBE THE PROPOSED DEVELOPMENT:
 Accessory Building

DESCRIBE THE PROPOSED USE:
 Cistern Storage, Water pump

IF DEVELOPMENT/USE INVOLVES CONSTRUCTION:

Building Size: 1008 sq. ft Meters: Length x Width: 24' x 42' (6x45) Meters: Feet

Height (grade to peak): 16' Feet

Roofing Material: Steel Siding Material: steel

Front Yard Setback to Property Line: Meters: Rear Yard Setback to Property Line: Meters: Feet

Smallest Side of Yard Setback to Property Line: Meters: Estimated Cost of Project: \$ 20,000⁰⁰

Start Date: July 1, 24 Feet Estimated Completion: Dec 1, 25

Is this Application for the Principal or Secondary Use on this Parcel? (please check one) Principal Secondary

Is the Development Within 1/2 mile of a Provincial Highway? Yes No

 If yes, Highway #: _____

 If yes, a Roadside Development Permit is Required from Alberta Transportation. Provided? Yes No

Does the Subject Land Contain an Oil or Gas Facility or Pipeline? Yes No

Does the Subject Land Contain a Water Body or River? Yes No

 If yes, Name: _____

Is the Development Near Slopes of 15% or Greater? Yes No

Type of Sewage System: N/A
 (septic field, holding tank, open discharge, lagoon, municipal servicing)

I/WE HEREBY DECLARE THAT THE ABOVE INFORMATION IS, TO THE BEST OF MY/OUR KNOWLEDGE, FACTUAL AND CORRECT.
 NOTE: Registered Owner's signature is required if different from applicant.

 Signature of Registered Landowner

June 4/24
 Date

FOR ADMINISTRATIVE USE

Land Use Classification:
Light Industrial.

Fee Enclosed: Yes No

Receipt No.: 184772



Lesser Slave River
Planning & Development

DEVELOPMENT PERMIT APPLICATION | SITE PLAN



See Attached.
Addition Added to Development
Permit # 23-D-031 (Shouse)
need a building to put
cistern & pump into, &
Personel Storage.

Note: The location sketch must be completed. Please indicate the following items on the sketch: access/approaches, set backs, water bodies, right of ways, and provide the dimensions of the sides, front, back, and height. Should the space provided be insufficient when answering any of the above questions, please attach a list of additional information.

LEGAL LAND DESCRIPTION:

5 4 73 3 NW OR 3 2 15253a3
Quarter Section Township Range Meridian Lot Block Plan



June 4/24
Date



Lesser Slave River
Planning & Development

DEVELOPMENT PERMIT APPLICATION | RIGHT OF ENTRY

Please complete the following right-of-entry form and include it with your Development Permit Application.

Right of Entry for an Authorized Person of the Municipal District of Lesser Slave River No. 124 for the Purposes of a Site Inspection of the Land Affected by the Proposed Permit Application.

I DO
 I DO NOT

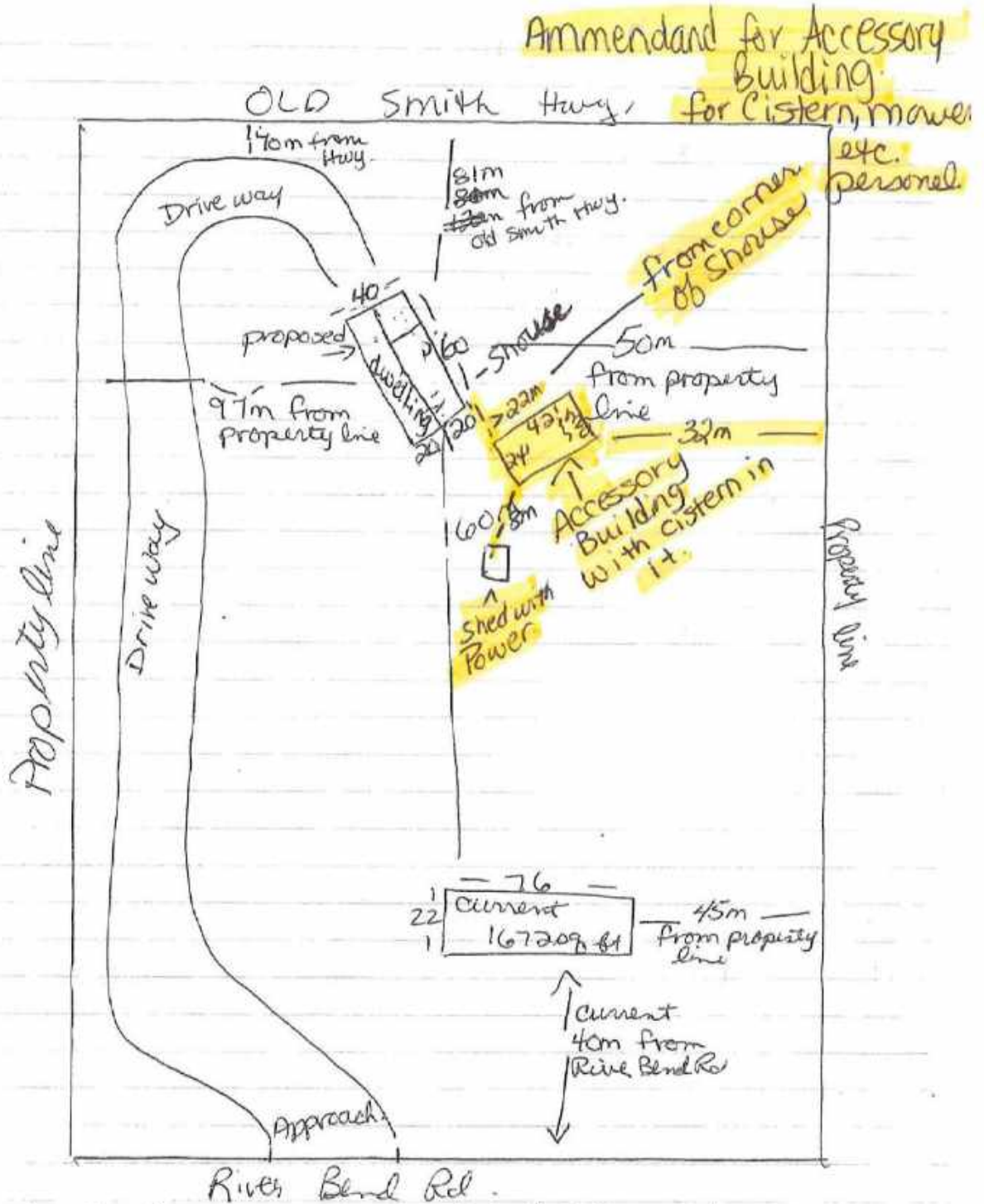
give consent for an authorized person of the **Municipal District of Lesser Slave River No. 124** to enter upon the land that is subject to the application for the purposes of making a site inspection in order to evaluate the proposed application and monitor its compliance.

LAND LOCATION:

5 Quarter 4 Section 73 Township 3 Range NW Meridian OR 3 Lot 2 Block 1525303 Plan



Date June 4/24



5 | 4 | 73 | 3 | NW | 3 | 2 | 1525303
 Quarter | Section | Township | Range | meridian | Lot | Block | Plan



LAND TITLE CERTIFICATE

S
 LINC SHORT LEGAL TITLE NUMBER
 0036 970 656 1525303;2;3 222 294 705

LEGAL DESCRIPTION
 PLAN 1525303
 BLOCK 2
 LOT 3
 EXCEPTING THEREOUT ALL MINES AND MINERALS
 AREA: 4.07 HECTARES (10.06 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
 ATS REFERENCE: 5;4;73;3;NW

MUNICIPALITY: MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124

REFERENCE NUMBER: 152 370 570 +2

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
222 294 705	16/12/2022	TRANSFER OF LAND	\$97,500	\$97,500

OWNERS
 BENJAMIN CARMEN ARBEAU
 AND
 MARY ELIZABETH ARBEAU
 BOTH OF:
 BOX 1071
 SLAVE LAKE
 ALBERTA T0G 2A0
 AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS		
REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
2504PK	26/07/1967	UTILITY RIGHT OF WAY GRANTEE - ALBERTA POWER LIMITED. AS TO PORTION OR PLAN:5334NY

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

222 294 705

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
--------	--------------	-------------

"TAKES PRIORITY DATE OF CAVEAT 1718NS DATA UPDATE BY 6699SQ"

062 448 966	04/10/2006	CAVEAT RE : RIGHT OF WAY AGREEMENT CAVEATOR - ATCO ELECTRIC LTD. ATTN LAND & RECORDS MANAGEMENT 10035 105 ST EDMONTON ALBERTA T5J2V6 AGENT - SHEILA PARSONS
-------------	------------	--

122 111 215	16/04/2012	CAVEAT RE : RIGHT OF WAY AGREEMENT CAVEATOR - ATCO ELECTRIC LTD. 10035 - 105 STREET EDMONTON ATTENTION: LAND & PROPERTIES ALBERTA T5J2V6 AGENT - JOANNE DALLYN
-------------	------------	---

152 370 569	26/11/2015	CAVEAT RE : RESTRICTIVE COVENANT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - THE MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124. BOX 722,3000 - 15 AVENUE S.E SLAVE LAKE ALBERTA T0G2A0 AGENT - ALLAN WINARSKI.
-------------	------------	---

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 5 DAY OF JUNE, 2024 AT 03:18 P.M.

ORDER NUMBER: 50711799

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

(CONTINUED)

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

**ALBERTA GOVERNMENT SERVICES
LAND TITLES OFFICE**

IMAGE OF DOCUMENT REGISTERED AS:

152370569

ORDER NUMBER: 51002833

ADVISORY

This electronic image is a reproduction of the original document registered at the Land Titles Office. Please compare the registration number on this coversheet with that on the attached document to ensure that you have received the correct document. Note that Land Titles Staff are not permitted to interpret the contents of this document.

Please contact the Land Titles Office at (780) 422-7874 if the image of the document is not legible.

CAVEAT

TO THE REGISTRAR OF THE ALBERTA LAND TITLES OFFICE

Take notice that the Municipal District of Lesser Slave River No. 124 claims an interest in land pursuant to a Restrictive Covenant dated Oct. 14 / 15, 2015, a copy of which is attached hereto, in accordance with Section 651 of the *Municipal Government Act* and amendments thereto, in:

LOT 1

BLOCK 2

PLAN 142 4810

EXCEPTING THEREOUT ALL MINES AND MINERALS

being lands standing in the registrar in the name of 847198 Alberta Ltd. the Caveator forbids the registration of any person as transferee or owner of, or of any instrument affecting the said estate or interest, unless the instrument or Certificate of Title, as the case may be, is expressed to be subject to its claim.

I designate Box 722, 3000 - 15 avenue S.E., Slave Lake, AB, T0G 2A0 as the place at which notices and proceedings relating hereto may be served.

IN WITNESS WHEREOF, I have hereunto subscribed my name this 14 day of

October, 2015.

—

RESTRICTIVE COVENANT

Pursuant to S. 651.1 of the *Municipal Government Act*

THIS AGREEMENT dated the 14 day of October, 2015.

BETWEEN:

847198 Alberta Ltd.

(hereinafter referred to as the "Grantor")

-and-

Municipal District of Lesser Slave River No. 124

(hereinafter referred to as the "Grantee")

WHEREAS the Grantor is the registered owner of the lands located within the Municipal District of Lesser Slave River No. 124 which is described more particularly in Schedule "A" which is attached hereto and forms a part of this Agreement (hereinafter referred to as the "Development Lands");

AND WHEREAS the Grantor has applied for and obtained a conditional approval for subdivision in regard to the Development Lands, subject to the conditions of the subdivision approval;

AND WHEREAS the Development Lands are located within the Slave Lake Caribou Range and are within an high use area by caribou;

AND WHEREAS the caribou within the Slave Lake Caribou Range are considered to be species at risk;

AND WHEREAS one of the conditions of subdivision approval required the registration of this Restrictive Covenant, by caveat, or otherwise for the protection of caribou which frequent the Development Lands;

AND WHEREAS, pursuant to the provisions of the Municipal Government Act, RSA 2001 c.M-26, as amended, the Grantee has the direction, control and management of all roads within the Municipal District of Lesser Slave River No. 124, including those roads adjacent to the Development Lands;

AND WHEREAS pursuant to Section 651.1 of the *Municipal Government Act* the Grantee may register this Restrictive Covenant against title to the Development Lands;

AND WHEREAS the Grantor and the Grantee both desire that any subsequent purchaser, owner or person wishing to claim an interest in the Development Lands be made aware of the development restrictions that are applicable to the Development Lands;

NOW THEREFORE THIS AGREEMENT WITNESSETH that, inconsideration of ONE DOLLAR (\$1.00) now paid to the Grantor, and the covenants and conditions contained herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Grantor and the Grantee hereby agree as follows:

- 1. The Grantor, being the registered owner of the Development Lands more particularly described in Schedule "A" attached hereto, on its own behalf and on behalf of its successors in title, and their respective heirs, executors, administrators, assigns and successors, do hereby covenant and agree with the Municipal District of Lesser Slave River No. 124, and their respective heirs, executors, administrators, successors and assigns as Grantees, that the Development Lands, including any lands which may, in the future be annexed, consolidated or added to the Development Lands, shall be and are hereby bound with and burdened by the following restrictive covenant which shall be and is hereby annexed to and binding upon the Development Lands, namely:**
 - a) Between the dates of February 15 to July 15 of each year no development, construction, or excavation shall be allowed upon the Development Lands or any parcel or portion thereof.**
- 2. The foregoing restrictive covenant shall be binding upon and enure to the benefit of any person to whom the Development Lands or any parcel or portion of land within the Development Lands are conveyed such that the stipulations, reservations and provisions described herein shall run with the Development Lands and each parcel or portion comprising the Development Lands, and shall enure to the benefit of the Municipal District of Lesser Slave River No. 124, and its successors and assigns.**
- 3. The provisions of this Restrictive Covenant as they apply to the Development Lands:**
 - a) Do not absolve any owner of the Development Lands or portion or parcel within the Development Lands from complying with any easement or other instrument effecting the Development Lands;**
 - b) Do not absolve any owner of the Development Lands or portion or parcel within the Development Lands from complying with any federal or provincial legislation or regulation, and any amendments thereto;**
 - c) Do not absolve any owner of the Development Lands or portion or parcel within the Development Lands from complying with the Land Use Bylaw or any other bylaw of the Municipal District of Lesser Slave River No. 124; and**
 - d) Are not intended to conflict with any provision of the Land Use Bylaw or other statutory plan of the Municipal District of Lesser Slave River No. 124, or any amendments thereto, effecting the Development Lands.**
- 4. The provisions herein set forth are severable and the invalidation of any one or more than one of them shall not invalidate any other provisions set forth and such provision shall be**

independent to the extent that the lack of enforcement of one or more of them shall in no way be construed of a waiver of any of the other provisions set forth herein.

- 5. This Agreement shall be binding upon and enure to the benefit of the Parties hereto and their respective heirs, executors, administrators, successors, successors in title, and assigns.
- 6. This Restrictive Covenant shall be registered or recorded by way of caveat against the title to the Development Lands at the Land Titles Office. This Restrictive Covenant is intended to and shall run with the Lands.

IN WITNESS WHEREOF the Parties have executed this Restrictive Covenant on the day and year first above written.

847198 ALBERTA LTD.

Per: _____

Per: _____

MUNICIPAL DISTRICT OF LESSER SLAVE RIVER
NO. 1

Per: _____

Per: _____



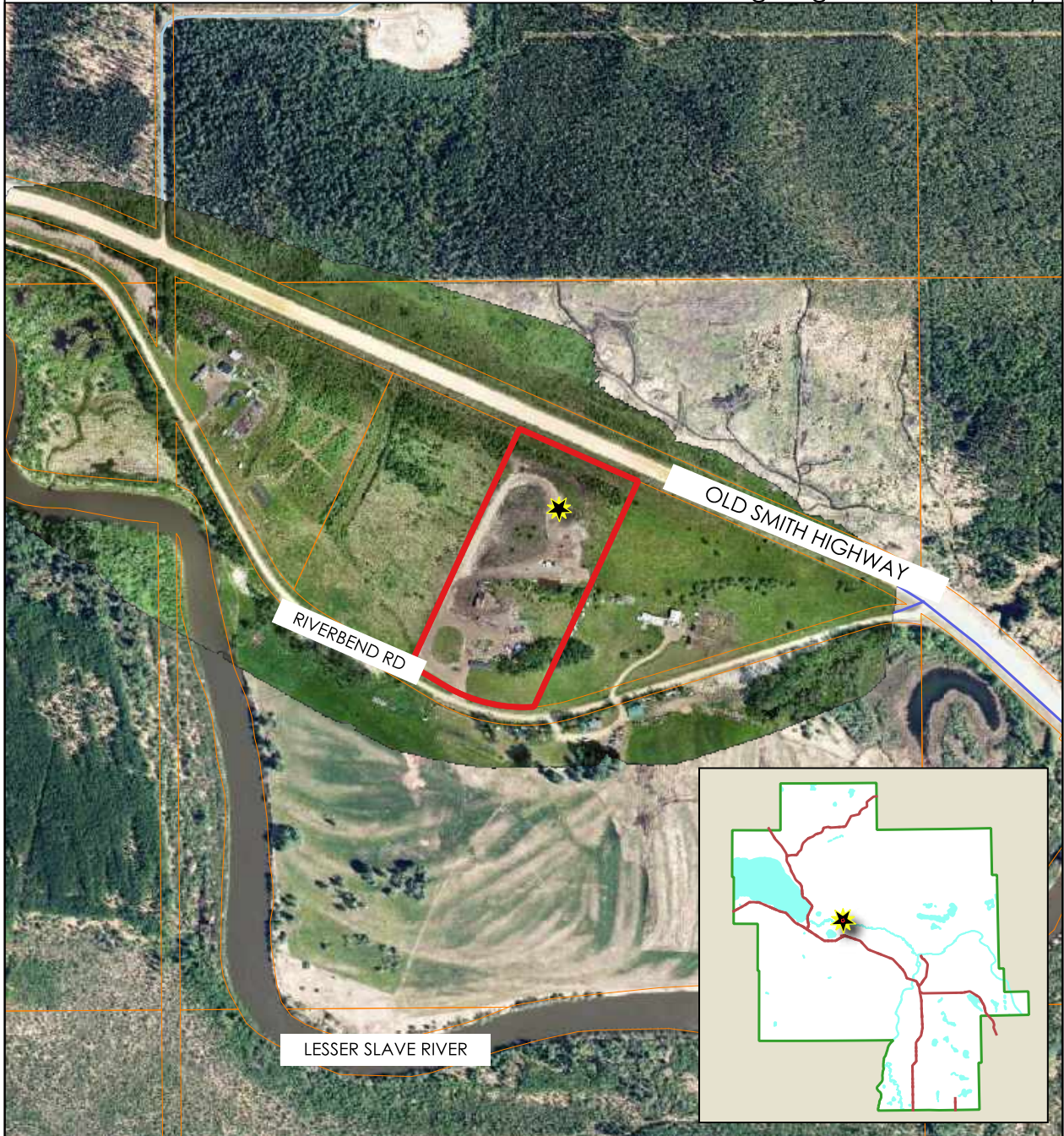
152370589 REGISTERED 2015 11 26
CAVE - CAVEAT
DOC 1 OF 2 DRP#: 00E792 ADR/EDINMACNE
LINC/S: 0038372878



Municipal District of
Lesser Slave River 124

Development Permit 24-D-20

Location - NW-3-73-4-W5
Zoning - Light Industrial (LI)



LEGEND

- Subject Property
- Cadastre
- MD Boundary

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0 75 150 m

Scale - 1 : 6,000

Map Print Date : July 09, 2024



Municipal District of
Lesser Slave River 124

Development Permit 24-D-20

Location - NW-3-73-4-W5
Zoning - Light Industrial (LI)



LEGEND

- Subject Property
- Cadastre
- MD Boundary

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0 20 40 m

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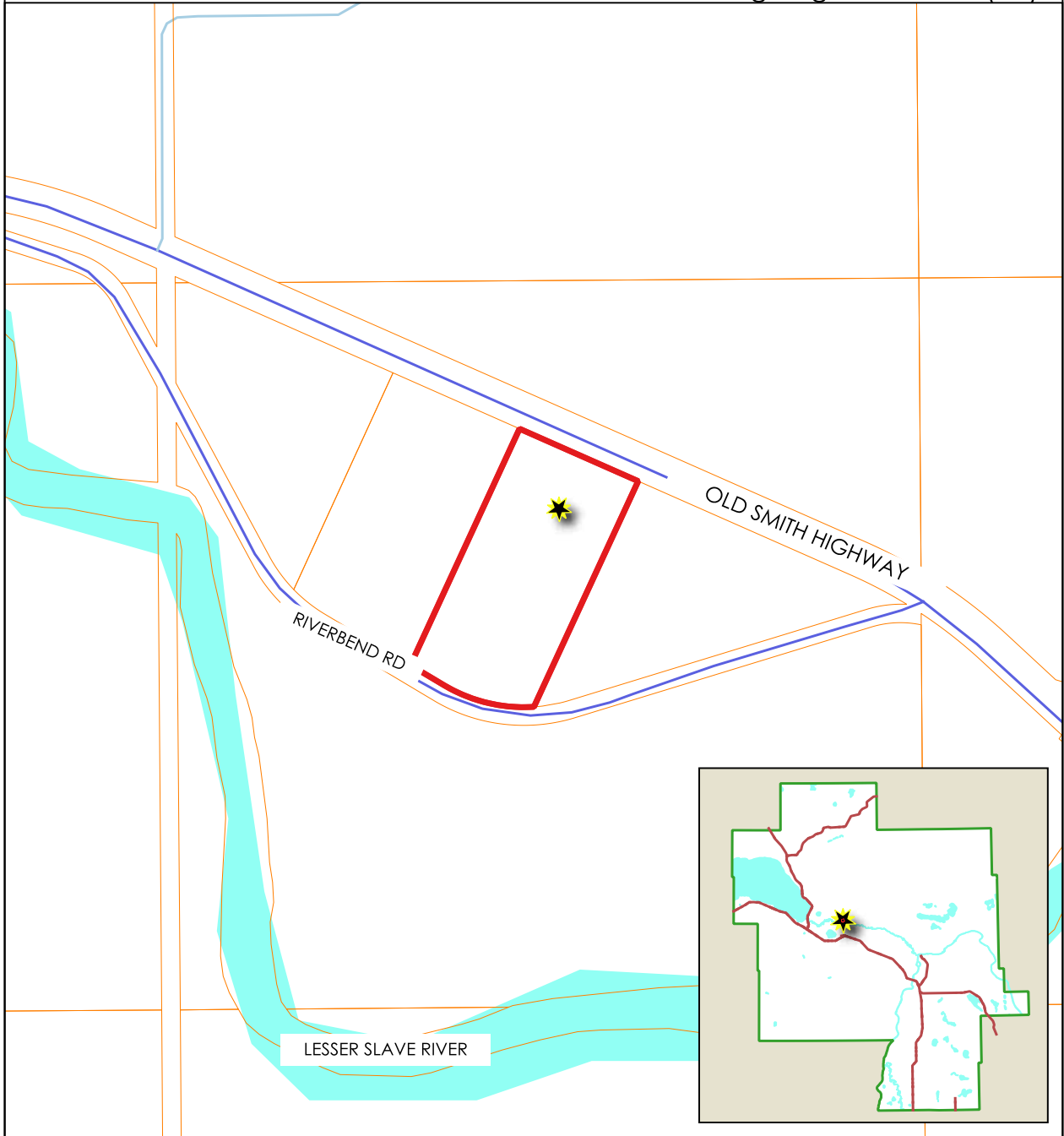
Map Print Date : July 09, 2024



Municipal District of
Lesser Slave River 124

Development Permit 24-D-20

Location - NW-3-73-4-W5
Zoning - Light Industrial (LI)



LEGEND

- Subject Property
- Cadastre
- MD Boundary

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Scale - 1 : 6,000

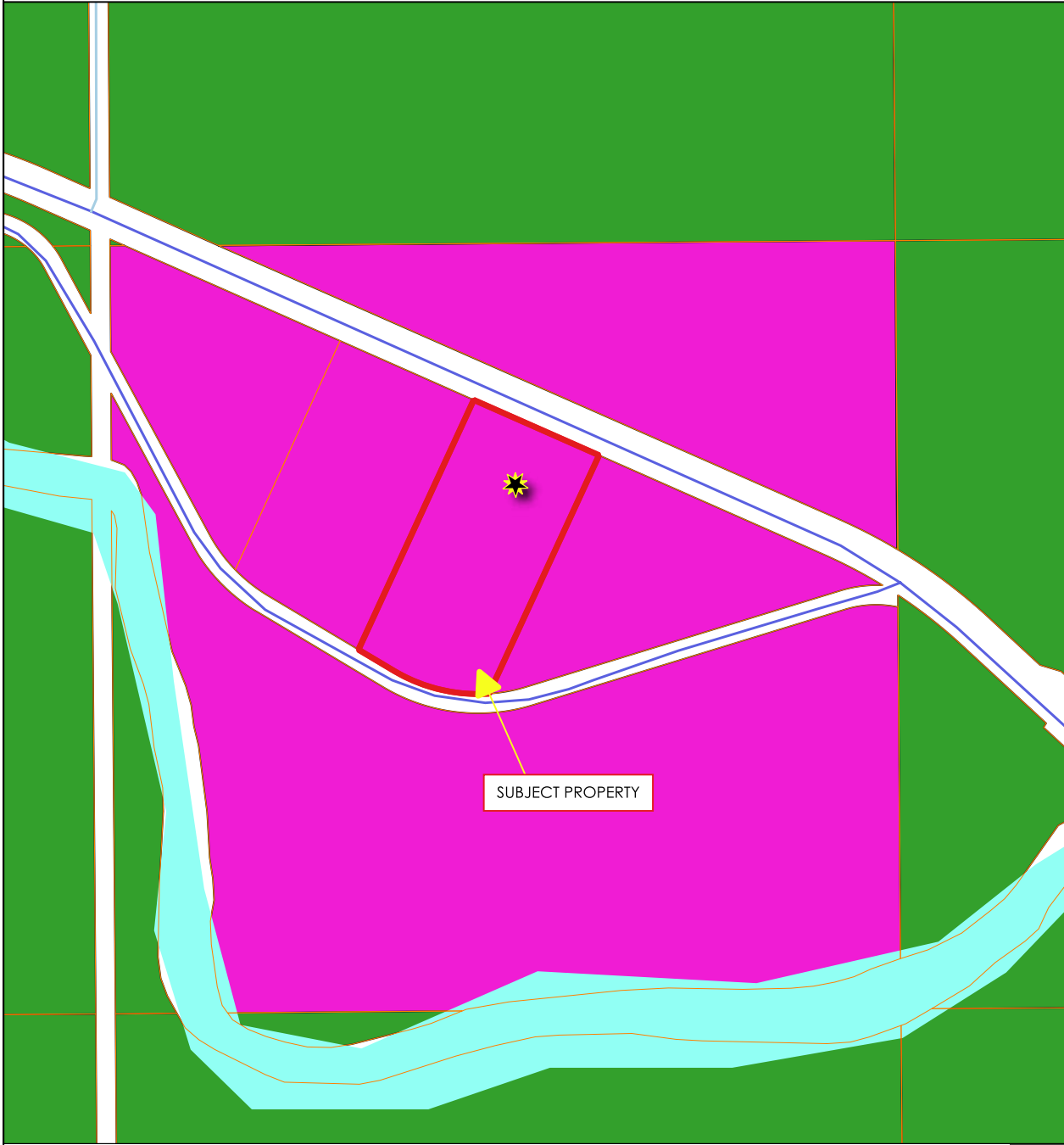
Map Print Date : July 09, 2024



Municipal District of
Lesser Slave River 124

Development Permit 24-D-20

Location - NW-3-73-4-W5



landuse		
Agricultural District (A)	Crown Land District (CL)	Light Industrial District (LI)
Community Facilities District (CF)	Direct Control District (DC)	Residential Un-Serviced District (RUS)
	Heavy Industrial District (HI)	



Lesser Slave River

Municipal Planning Commission

Subject:	Development Permit Application Discretionary Use
Date:	7/16/2024
Presented By:	Ann Åsfrid Holden
Attachments:	Application, maps, referral letter

File Number	24-D-023
Land Use District	Agricultural (A)
Community:	Old Town
Legal Location	SW-5-73-5-W5
Applicant:	Chad Caron
Landowner(s):	Christina Rose

PURPOSE:

To consider development permit application for a **Dwelling, Single-Detached**.

BACKGROUND:

- The parcel is located behind Sawridge Reserve on RGE RD 55. The Town of Slave Lake is kitty-corner from the south-west corner of the lot.
- The lot is 16.12 hectares (39.97 acres).
- The parcel is accessed from HWY 88, via 6 AVE NE onto RGE RD 55. Only RGE RD 55 is within the MD’s jurisdiction.
- The land is within 800 m of HWY 88 and therefore needs a roadside development permit from Alberta Transportation and Economic Corridors.
- This lot is neither within the Waterfront Area Structure plan boundaries nor within the Inter-Municipal Development Plan Area, however the “Village of Slave Lake” is an adjacent landowner. The Town’s Municipal Planning Commission reviewed the application and has no concerns with this development.
- The lot was rezoned in 1997 from Forestry District to Residential Two District to enable the applicant to subdivide the lot. The 1997 subdivision did not materialize. The area was already in a known flood zone in 1997. The planner at the time, Bill Dolman, urged the MD to not rezone in the area within the flood hazard zone and suggested the applicant provide either flood data or flood elevations.

SITE ANALYSIS:

This lot is one the most complicated lots in the Municipal District of Lesser Slave River as it must adhere to many jurisdictions’ policies. This includes: Sawridge First Nation, Town of Slave Lake, Alberta Transportation and Economic Corridors, Alberta Forestry and Parks.

The access road 6 AVE NE is controlled and maintained by the Town of Slave Lake. As the road goes north and becomes RGE RD 55, the MD maintains the road.

The proposed dwelling is a modular home of 1600 ft² (80’ X 20’) with vinyl siding and shingle roof. The applicant has not purchased the dwelling yet. This permit is connected to 24-D-25 Home Occupation and Eating and Drinking Establishments.

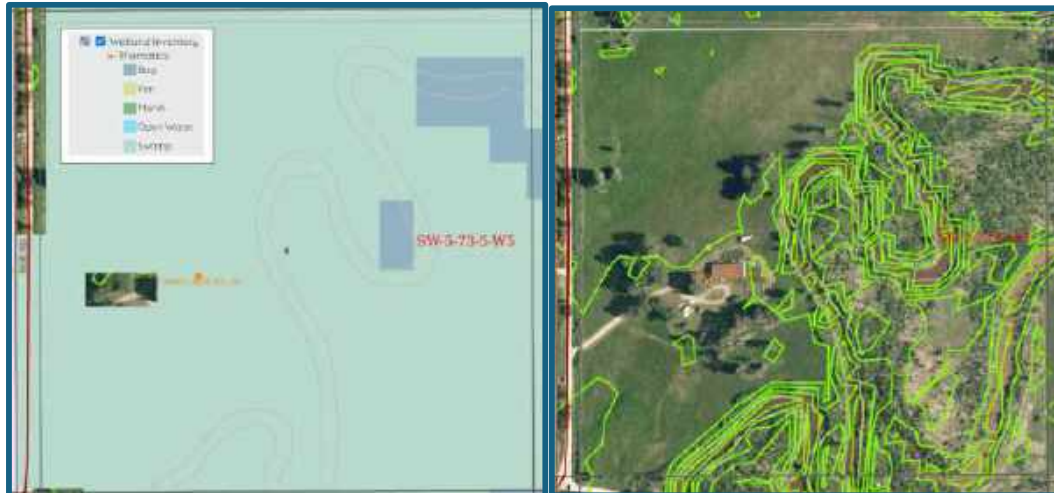
Servicing Type: the proposed sewage system of the development is open discharge or septic field. The servicing must follow provincial standards; the location may not be suitable for the system given the closeness to the creek. Holding tanks may be the only private sewage system that will meet Alberta safety codes legislation. The holding tanks need to be tied down to prevent them from floating to the top during flood events.

However, the sewage servicing is not within the MD's jurisdiction. When the quarter section was subdivided in 1993 (when the MD was an improvement district), the developer of the subdivision had to pay off-site levies for the water line extension. If the developer connects to the town's water, they must pay a higher water fee as an MD resident as per the Intermunicipal Agreement.

Soil type: According to 2015 Surficial Sand and Gravel Mapping, the land contains sand, silt, and clay and minor gravel. The land has a CLI rating of 3. The MD has heard from several sources that debris from the old "Zoo" was buried on the lot after it burned the first time in the 1980s. The approximate location of the buried debris is in the southwest corner of the lot.

Topography: the land is flat, with the exception of the creek bank.

Wetland inventory: the land is a swamp with a smaller bog, according to the wetland inventory map.



Farmland inventory: Not applicable. The land is in the "green" area.

Flood risk: Sawridge Creek runs through the parcel. This land is under a provincial flood map. According to the draft flood map (floods.alberta.ca), the flood level for the 1:100 flood level is 580.17 m and the flood depth is 31 cm for the location of the proposed mobile home. The depth of water rises to 39 cm with the 1:200 year flood level.



RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:

Regional Growth Plan (2015):

The existing land use of the parcels in the Regional Growth Plan is rural (mostly used for Crown Land). Promotion and expansion of tourism are goals of the IDP.

Municipal Development Plan (2021):

The Municipal Development Plan (MDP) is a long-range strategic plan that sets direction for new development. The MDP identifies the subject lands as Agriculture or Crown Land. Section 6.2.1 states that “Parts of some of the Agricultural Areas are subject to a potential flood hazard. No development shall take place which may be subject to a flood hazard unless the hazard has been specifically identified and unless the development occurs in such a manner as to protect the development from the flood hazard.”

Land Use Bylaw (2021):

Section 7.3.1 The purpose of the Agricultural District is: To provide opportunities for current and sustainable primary production and secondary processing of agricultural commodities and services through a wide and diverse range of agricultural related uses, while also providing opportunities for innovative use of land to support community resiliency.

Section 7.3.4 Regulations for development in the Agricultural (A) District:

REGULATION	PROVISION
1	Parcel Area (minimum) 10.0 ha (24.7 ac)
2	Parcel Width (minimum) 7.5 m (24.6 ft)
3	Site Coverage (maximum) Twenty percent (20%)
4	Front Yard Setback (minimum) 20 m (65.6 ft)
5	Rear Yard Setback (minimum) 15 m (49.2 ft)
6	Side Yard Setback (minimum) 7.5 m (24.6 ft)
7	Height (maximum) – for dwellings 10.6 m (34.8 ft)

*NOTE: REFER TO SECTION 8.2 FOR SETBACKS FROM OTHER ROADS
 REFERENCE SECTIONS 8, 9 AND 10 FOR OTHER APPLICABLE REGULATIONS.

Floodplain Protection Overlay

- All uses on lands where the Floodplain Protection Overlay applies shall be considered discretionary, except for Public Utilities and Passive Recreation.
- (Section 6.1.3) The Development Authority shall not approve development permit applications that include new or replacement of permanent structures and buildings in areas that the Floodplain Protection Overlay applies to, unless the applicant can demonstrate:
 - (a) that preventative engineering and construction measures can be used to make the site suitable for the proposed development or to protect the development from potential flooding hazards, stamped by a registered engineer;
 - (b) mitigation methods that meet any federal or provincial policies or regulations for building in flood-susceptible areas;
 - (c) that new permanent structures or building is elevated above the 1:100-year floodplain and is designed to be relocatable should the 1:100 year floodplain change. No basements are permitted for new construction or redevelopment and dwellings will be required to be constructed in a manner to enable them to be relocated in the future; and
 - (d) that the change or development of the site should not direct water onto other properties.
- If the Development Authority approves any development permit application for lands within the Floodplain Protection Overlay, the developer shall be required to implement the preventive measures referred to in subsection 6.1.3, and enter into a written agreement that can be caveated or otherwise registered against the titles of the affected lands, that:
 - (a) the developer and/or any subsequent landowners shall be responsible for any damage or loss caused by flooding, erosion or subsidence;
 - (b) the developer and/or any subsequent landowners shall indemnify the Municipal District of Lesser Slave River No. 124, and related parties, against any loss, damage or costs, etc.; and
 - (c) development on the lands shall be restricted so as to comply with the preventative measures referred to in subsection 6.1.3, and in any further or other manner that the Development Authority deems appropriate.

BENEFIT/RISKS:

There is a risk in approving development in a flood plain. The size of the lot and the level of projected flood water gives the applicant an opportunity to mitigate the risk.

FINANCIAL IMPLICATION:

No new or expanded municipal services are needed for this development. If the applicant is to use municipal water, they must get it from the Town of Slave Lake.

PUBLIC ENGAGEMENT LEVEL/REFERRALS:

Sawridge First Nation: The application was referred to Sawridge First Nation on July 2, 2024. Sawridge First Nation is reviewing the application on July 12, 2024.

Town of Slave Lake: The application was referred to the Town of Slave Lake on July 2, 2024. The Town's Municipal Planning Commission reviewed the application and have no concern with this development.

RECOMMENDED MOTION:

That the Municipal Planning Commission APPROVE Development Permit Application 24-D-023 for **Dwelling, Single-Detached** with the Following Conditions:

1. **Must meet minimum setback of:
Front Yard - 20 meters (65.6 feet) from property line**

Side Yard - 7.5 meters (24.6 feet) from property line

Rear Yard - 15 meters (49.2 feet) from property line

NOTE: A minimum setback of 30 m (100 ft) shall be provided for all buildings from the top of bank of any watercourse, from the top of the ravine or other topographical feature in which a watercourse is located, or from any water body.

2. Principal building height shall not exceed 10.6 meters (34.8 feet).
3. All modular homes must have the appropriate provincial and/or federal certification. If a particular modular home has been damaged or structurally altered, the modular home shall be certified as safe by an accredited engineer.
4. It shall be the responsibility of the owner to place the modular home on a permanent foundation or base in accordance with the requirements of the Alberta Safety Codes Act.
5. Prior to the commencement of construction, the Municipal District of Lesser Slave River No. 124 and the Province of Alberta require that all developers obtain Building Permits, Plumbing Permits, Gas Permits, Electrical Permits, and Private Sewage and Disposal System Permits prior to the construction or location of a building. The developer shall contact certified building inspectors to obtain all relevant permits and upon issuance, shall provide a copy to the Municipal District immediately.
6. BUILDING PERMITS WILL ONLY BE ISSUED FOR HOMES THAT COMPLY WITH THE REQUIREMENTS OF THE New Home Buyer Protection Act and is built by a person that holds the appropriate licence or authorization or is exempt from the requirement for a licence or authorization. For more information and updates: HomeWarranty.Alberta.ca and www.builderlicencing.alberta.ca or contact builderlicencing@gov.ab.ca or 1866-421-6929.
7. The developer is responsible for ensuring that all relevant onsite utilities (water, sewer, telephone, gas, power, etc.) are secure before commencing excavation and construction.
8. The developer must ensure that proper permits are obtained for hauling oversize weight loads on any Municipal Roadway in conjunction with this project. Please contact the MD Transportation Department at info@mdlsr.ca for a road weight control special permit.
9. Approaches/accesses to any development shall follow the MD's Approach Construction Guidelines and Municipal Servicing Standards.
10. Any exterior lighting shall be directed so that the area illuminated is contained entirely within the site.
11. The developer shall be made aware that the proposed development lies within a 1 in 100 year floodplain. Due to the potential for flood activity in the area, the Municipal District of Lesser Slave River No. 124 Development Authority requires that the developer implement preventative measures and enter into a written agreement that can be caveated or otherwise registered against the titles of the affected lands, that:
 - a. the developer and/or any subsequent landowners shall be responsible for any damage or loss caused by flooding, erosion or subsidence;
 - b. the developer and/or any subsequent landowners shall indemnify the Municipal District of Lesser Slave River No. 124, and related parties, against any loss, damage or costs, etc.; and
 - c. development on the lands shall be restricted so as to comply with the preventative measures referred to in subsection 6.1.3 of the Land Use Bylaw 2021-17 and in any further or other manner that the Development Authority deems appropriate.
12. The developer is required to raise the elevation of the building. The lowest entry point for the dwelling is to be 581 metres above sea level. The required elevation may be achieved by engineered landfill or structural elevation.
13. A certificate of lot grades or a Real Property Report certified by a registered surveyor be provided to the Development Authority upon completion of the footings or pilings for the development and prior to commencement of any other construction relating to the

development, indicating that the development, specifically the location and elevation of the development, is in accordance with the approved development permit application or any conditions of approval of that application.

14. The developer shall keep site clean and orderly.
15. No other buildings or use are allowed on this lot without municipal authorization.
16. The developer is encouraged to FireSmart buildings and properties to guard against wildfires. For more information, go to <https://livefiresmart.ca/> OR <https://firesmartcanada.ca/>.
17. The Development Permit is valid for a 12-month period starting from the Date of Decision.
18. The development shall not commence until 21 days after the Date of Decision.
19. The development will be carried out in accordance with the approved application, approved plans and all the conditions contained in this Development Permit Notice of Decision.
20. The developer must obtain any and all necessary permits and approvals from any and all other regulatory bodies which may have jurisdiction over this proposal.
21. This permit does not excuse any violation of any regulation or act which may affect the proposed project.
22. If the Development Permit has been appealed to the Subdivision and Development Appeal Board or the Lands and Property Tribunal, the development shall not commence until after the board of appeal has rendered a decision.
23. If the Development Permit has been appealed to the Subdivision and Development Appeal Board or the Lands and Property Rights Tribunal, the Development Permit will be valid for a 12-month period starting from the date of decision by the board hearing the appeal and in accordance with all conditions placed on it by the board.
24. Any appeal of this decision lies to the Land and Property Rights Tribunal pursuant to section 685(2.1) of the Act.

ALTERNATIVE MOTION:

1. That the Municipal Planning Commission POSTPONE Development Permit 24-D-023 for a DWELLING, SINGLE-DETACHED, until Sawridge First Nation has had an opportunity to reply.
2. That the Municipal Planning Commission REFUSE Development Permit 24-D-023 for a DWELLING, SINGLE-DETACHED stating reasons.

Prepared By: Ann Holden, Planning & Development Officer

Reviewed By: Samantha Dyck, Planning & Development Officer

Approved By: Rudolf Liebenberg, Director Planning, Utilities, & Protective Services



**Lesser Slave River
Planning & Development**

DEVELOPMENT PERMIT APPLICATION

I/We hereby make application under provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and form part of this application.

*Application No: 24-D-023
Date Received: June 28/24*

I/We understand that this application must contain the following:

STRUCTURE INFORMATION:		SITE INFORMATION:		BUILDING PLANS OUTLINING:	
Proposed Structure	Proposed Use	Site Plan (page 4)	Size	Floor Plan	
Existing Structure	Existing Use	Setbacks	Height	Exterior Finishes	

APPLICANT NAME:
[REDACTED]

POSTAL ADDRESS: [REDACTED] **POSTAL CODE:** [REDACTED]

E-MAIL: [REDACTED] **PHONE NUMBER:** [REDACTED]

Complete if different from applicant:

REGISTERED LANDOWNER NAME:
[REDACTED]

POSTAL ADDRESS: [REDACTED] **POSTAL CODE:** [REDACTED]

E-MAIL: [REDACTED] **PHONE NUMBER:** [REDACTED]

LAND LOCATION:
SW 5 73 5 5 OR PLAN Block LOT
Quarter Section Township Range Meridian

TOTAL NUMBER OF:
39.97 OR
Acres Hectares

DESCRIBE THE EXISTING DEVELOPMENTS ON THE LAND:
40 x 80 shop
1bx 30 older house/cottage.
Power, water, gas on property



**Lesser Slave River
Planning & Development**

DEVELOPMENT PERMIT APPLICATION | SECTION 2

Application No.
24-D-023

DESCRIBE THE PROPOSED DEVELOPMENT:
Placing a Mobile Home / Modular Home on land

DESCRIBE THE PROPOSED USE:
To live in

IF DEVELOPMENT/USE INVOLVES CONSTRUCTION:

Building Size: *1600* Length x Width: *80' x 20'*

Height (grade to peak): *18'*

Roofing Material: *shingle* Siding Material: *Vinyl siding*

Front Yard Setback to Property Line: *ACRES* Rear Yard Setback to Property Line: *ACRES*

Smallest Side of Yard Setback to Property Line: *ACRES* Estimated Cost of Project: \$ *150000*

Start Date: *Aug 01/24* Estimated Completion: *NOV 1/24*

Is this Application for the Principal or Secondary Use on this Parcel? (please check one) Principal Secondary

Is the Development Within 1/2 mile of a Provincial Highway? Yes No

 If yes, Highway #:

 If yes, a Roadside Development Permit is Required from Alberta Transportation. Provided? Yes No

Does the Subject Land Contain an Oil or Gas Facility or Pipeline? Yes No

Does the Subject Land Contain a Water Body or River? Yes No

 If yes, Name: *Sawridge Creek*

Is the Development Near Slopes of 15% or Greater? Yes No

Type of Sewage System: *open discharge or septic field* (septic field, holding tank, open discharge, lagoon, municipal servicing)

I/WE HEREBY DECLARE THAT THE ABOVE INFORMATION IS, TO THE BEST OF MY/OUR KNOWLEDGE, FACTUAL AND CORRECT.
NOTE: Registered Owner's signature is required if different from applicant.

Signature of Applicant

June 27/2024
Date

Signature of Registered Landowner

June 27/2024
Date

FOR ADMINISTRATIVE USE

Land Use Classification: *Agriculture*

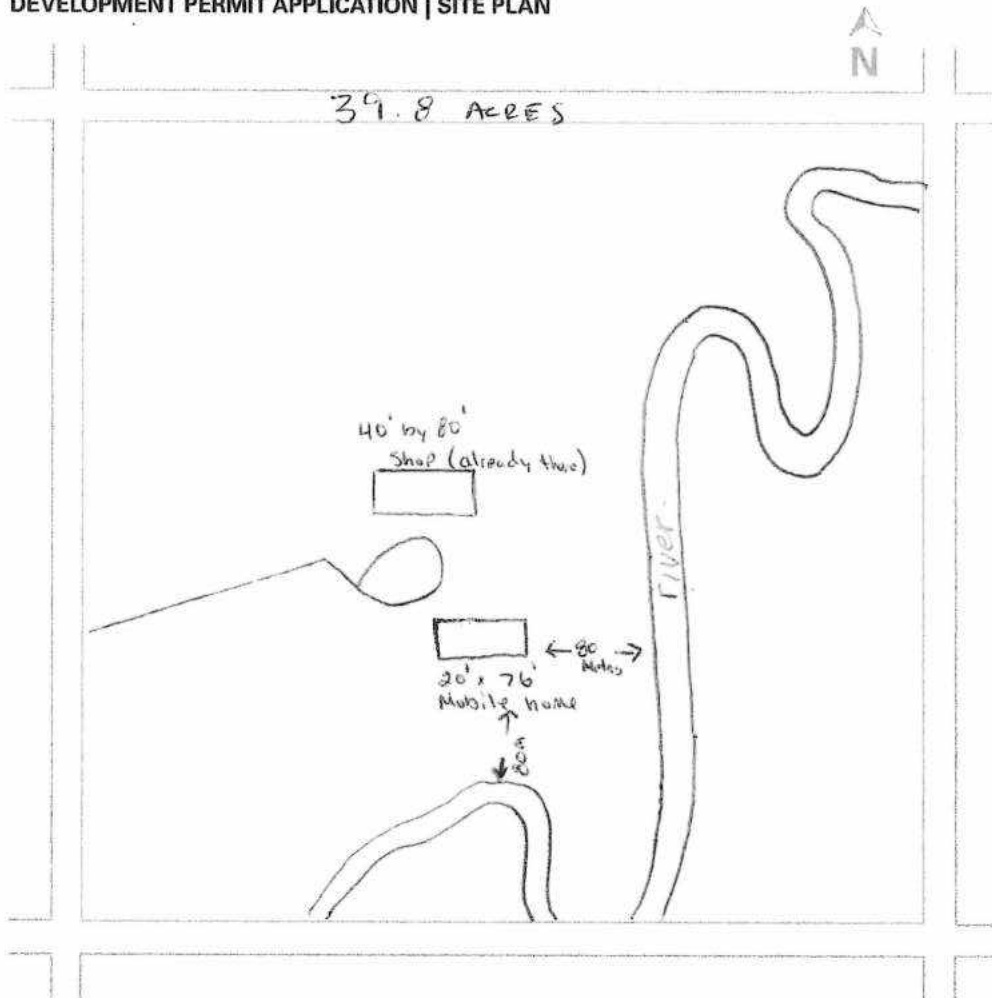
Fee Enclosed: Amount: *\$125.00*
 Yes No

Receipt No.: *185919*



**Lesser Slave River
Planning & Development**

DEVELOPMENT PERMIT APPLICATION | SITE PLAN



Note: The location sketch must be completed. Please indicate the following items on the sketch: access/approaches, set backs, water bodies, right of ways, and provide the dimensions of the sides, front, back, and height. Should the space provided be insufficient when answering any of the above questions, please attach a list of additional information.

LEGAL LAND DESCRIPTION:							
Quarter	Section	Township	Range	Meridian	Lot	Block	Plan
SW	5	73	5	5	OR		
Signature of Registered Landowner					Date: June 27/24		

Page 3 of 4
H-0001 (06/23)

MUNICIPAL DISTRICT OF LESSER SLAVE RIVER 400-124 | BOX 722, SLAVE LAKE, AB T0G 2A0 | TEL 780.649.8988 | TOLL FREE 1.866.449.8588 | FAX 780.649.4935



Lesser Slave River
Planning & Development

DEVELOPMENT PERMIT APPLICATION | RIGHT OF ENTRY

Please complete the following right-of-entry form and include it with your Development Permit Application.

Right of Entry for an Authorized Person of the Municipal District of Lesser Slave River No. 124 for the Purposes of a Site Inspection of the Land Affected by the Proposed Permit Application.

I DO
 I DO NOT

give consent for an authorized person of the **Municipal District of Lesser Slave River No. 124** to enter upon the land that is subject to the application for the purposes of making a site inspection in order to evaluate the proposed application and monitor its compliance.

LAND LOCATION:

SW 5 73 5 5 OR Lot Block Plan
 Quarter Section Township Range Meridian

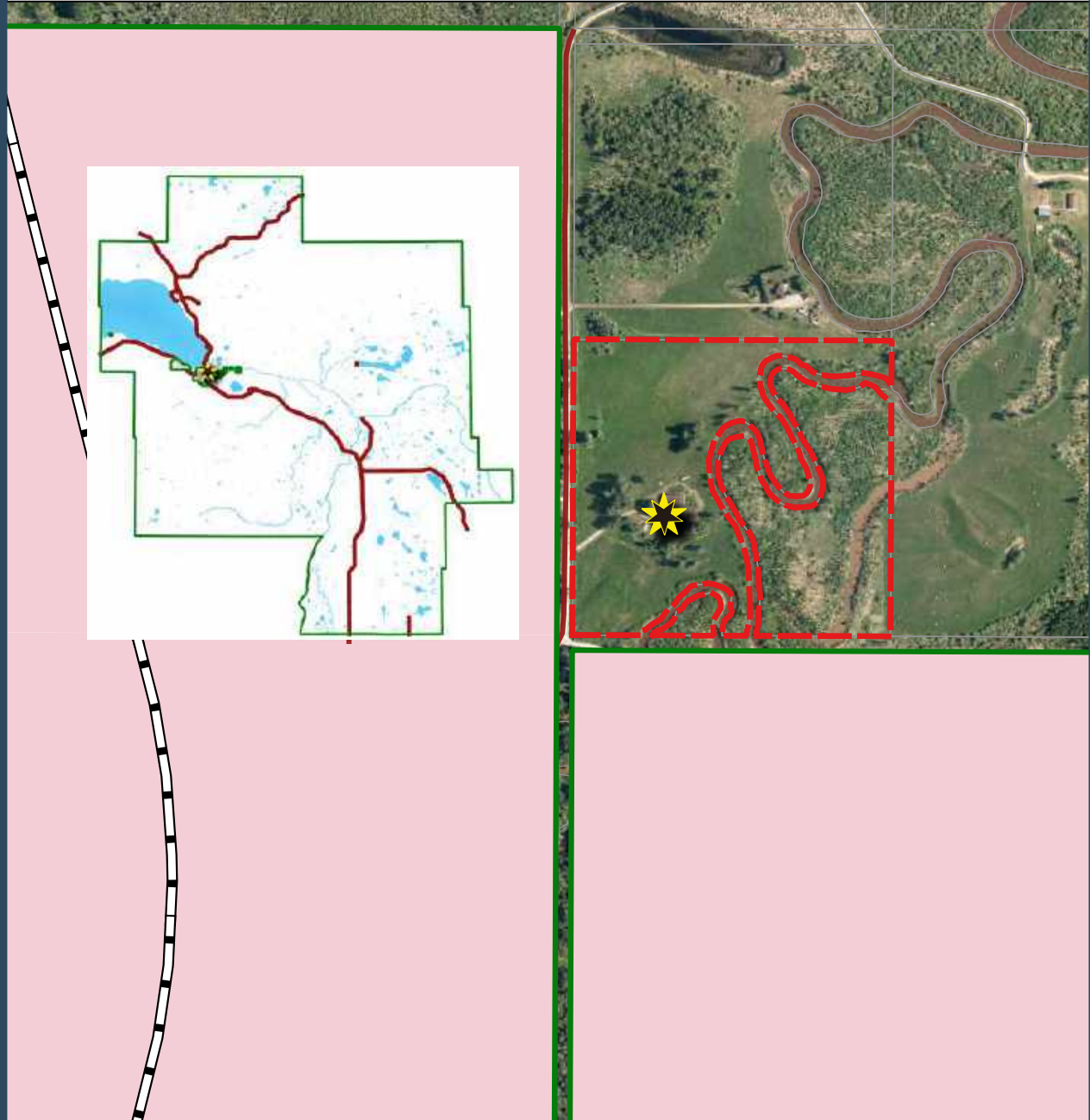
 Applicant Name (please print)

 Signature of Applicant

June 27 / 2024
 Date



Development Permit Application 24-D-023



Legend

- | | | | |
|---|------------------|---|---------------|
|  | Subject Property |  | TOSL/Sawridge |
|  | MD Location |  | MD Boundary |
|  | Provincial Roads |  | Land Parcels |

0 100 200 m

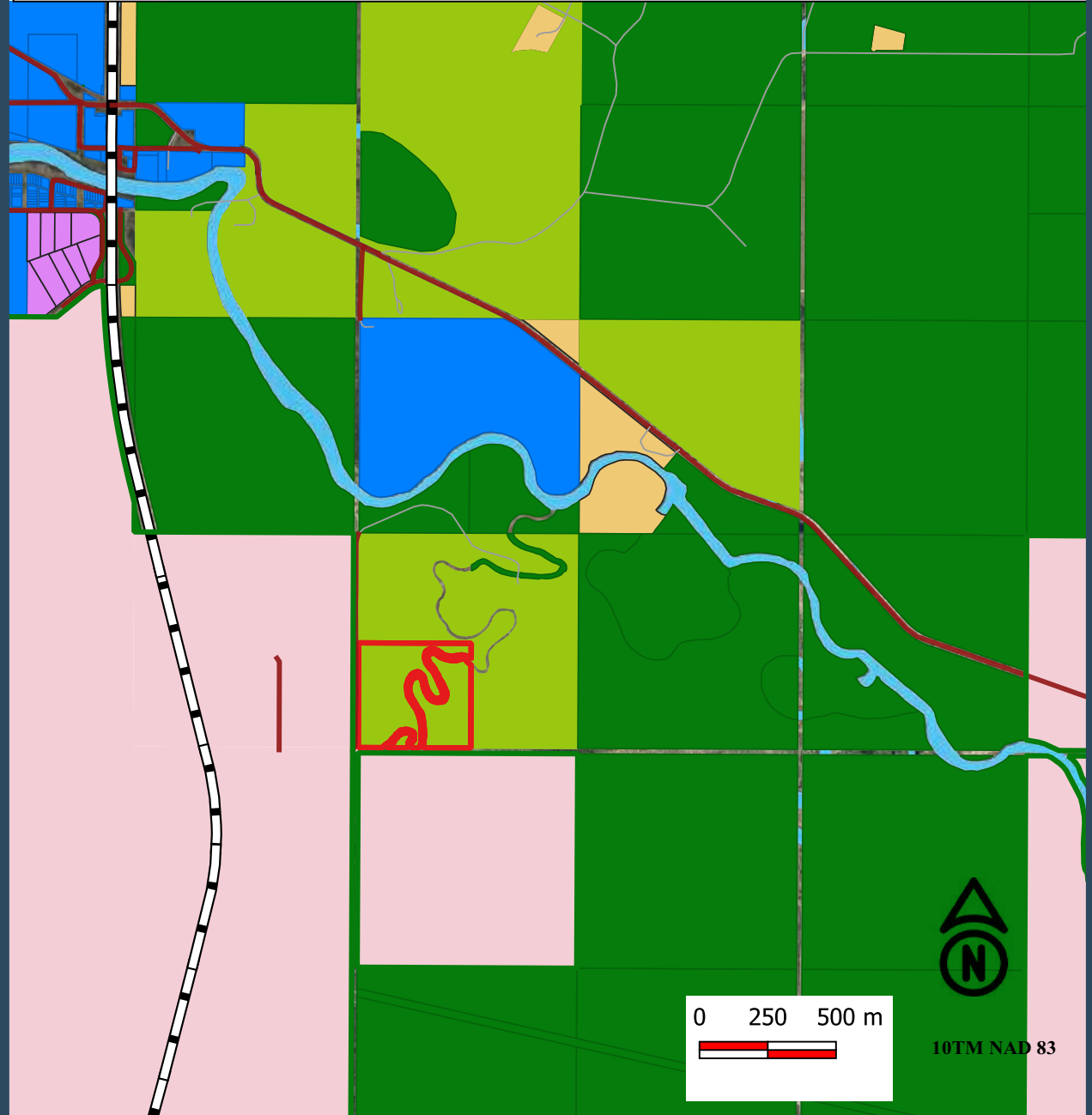


10TM NAD 83
July 4, 2024














Development Permit Application 24-D-023



Legend

- | | | | | | |
|---|------------------|---|-------------------------------|--|----------------------------------|
|  | Subject Property |  | Private Roads |  | Crown Land District |
|  | Land Parcels | Land Use | |  | Light Industrial District |
|  | Provincial Roads |  | Agricultural District |  | Residential un-Serviced District |
|  | Municipal Roads |  | Community Facilities District |  | TOSL/Sawridge |



July 9, 2024

Municipal District of Lesser Slave River #124
Box 722
Slave Lake, AB
T0G 2A0

Attn: Ann Holden, Planning & Development Officer

Dear Ann Holden:

RE: Development Permit Application 24-D-023
Located on SW 5-73-5-W5

Thank you for providing the Town with notice for the above-mentioned development permit application. At their July 8, 2024, meeting, the Municipal Planning Commission reviewed the above noted development permit application for a Dwelling, Single-Detached.

It is noted that the proposed development is not located within the boundaries of the Intermunicipal Waterfront Area Structure Plan or the Intermunicipal Development Plan. That said, the Town has no concerns with this application however the MPC is recommending the development be built at an elevation at or above the 1:100-year flood event.

Should you have any questions or concerns with this matter, please contact me at 780-849-8004.

Sincerely,
TOWN OF SLAVE LAKE

A handwritten signature in black ink, appearing to read "Joanna Raymond".

Joanna Raymond
Acting Director of Planning & Development



Lesser Slave River

Municipal Planning Commission

Subject:	Development Permit Application Discretionary Use
Date:	7/16/2024
Presented By:	Ann Åsfrid Holden
Attachments:	Application

File Number	24-D-025
Land Use District	Agricultural (A)
Community:	Old Town
Legal Location	SW-5-73-5-W5
Applicant:	Chad Caron
Landowner(s):	Christina Rose

PURPOSE:

To consider development permit application for a **Home Occupation - up to three (3) employees on-site (simulated golf) and Eating and Drinking Establishments.**

BACKGROUND:

- The parcel is located behind Sawridge Reserve on RGE RD 55. The Town of Slave Lake is kitty-corner from the south-west corner of the lot.
- The lot is 16.12 hectares (39.97 acres).
- The parcel is accessed from HWY 88, via 6 AVE NE onto RGE RD 55. Only RGE RD 55 is within the MD’s jurisdiction.
- The land is within 800 m of HWY 88 and therefore needs a roadside development permit from Alberta Transportation and Economic Corridors.
- This lot is neither within the Waterfront Area Structure plan boundaries nor within the Inter-Municipal Development Plan Area, however the Village of Slave Lake is an adjacent landowner. The Town has not been notified of this development.
- The lot was rezoned in 1997 from Forestry District to Residential Two District to enable the applicant to subdivide the lot. This subdivision never went through. The area was already in a known flood zone in 1997. The planner at the time, Bill Dolman, urged the MD to not rezone in the area within the flood hazard zone and suggested the applicant provide either flood data or flood elevations.

SITE ANALYSIS:

- This lot is one the most complicated lots in the Municipal District of Lesser Slave River as it must adhere to many jurisdictions’ policies. This includes: Sawridge First Nation, Town of Slave Lake, Alberta Transportation and Economic Corridors, Alberta Forestry and Parks.
- The access road 6 AVE NE is controlled and maintained by the Town of Slave Lake.
- When the quarter section was subdivided in 1993 (when the MD was an improvement district), the developer of the subdivision had to pay off-site levies for the water line extension. If the developer

connects to the town's water, they must pay a higher water fee as an MD resident as per the Intermunicipal Agreement.

- Sawridge Creek runs through the parcel.
- The land is within a Provincial Floodplain Overlay.
- According to the draft flood map (floods.alberta.ca), the flood level for the 1:100 flood level is 580.17 m and the flood depth is 31 cm for the location of the proposed mobile home. The depth of water rises to 39 cm with the 1:200 year flood level.
- Holding tanks may be the only private sewage system that will meet Alberta safety codes legislation. The holding tanks need to be tied down to prevent them from floating to the top during flood events.



Business application details:

- Business name: The Caddy Shack
- Type of Business: Simulated Golf
- Number of full time, part time, casual and seasonal employees: 0-3 permitted, currently only owner
- Traffic impact: as a home-based business the maximum number of visitors are 8. The applicant would like to expand the business; however, a rezoning of the property is needed prior to expansion.
- The hours of operation will be Monday - Sunday (7 days a week): 10 a.m. to 10 p.m.
- The simulated golf is to take place in the accessory building currently on site (shop).
- Liquor and prepackaged food is available onsite for consumption.

RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:

Regional Growth Plan (2015):

The existing land use of the parcels in the Regional Growth Plan is rural (mostly used for Crown Land). Promotion and expansion of tourism are goals of the IDP.

Municipal Development Plan (2012):

The Municipal Development Plan (MDP) is a long-range strategic plan that sets direction for new

AGENDA ITEM #4.3

development. The MDP identifies the subject lands as Agriculture or Crown Land. **Section 6.1.19** states *Home businesses shall be encouraged and permitted in Agriculture Areas provided that the following principles are met:*

- (a) *that the intensity of the business is compatible with the uses in the area where it is located;*
- (a) *it has minimal impact on the environment, water, municipal infrastructure and neighbouring properties; and*
- (c) *the business is clearly secondary in nature to the residential use of the property.*

The criteria for home business shall be administered through the standards established under the MD's Land Use Bylaw.

Section 6.1.20 *If the operation of a home business is found to have exceeded the capacity of the site and/or is determined to have a significant negative impact on the neighbourhood or adjoining properties, the MD shall require the business to relocate to appropriate commercial or industrial zoned lands.*

Land Use Bylaw (2021)

The development is proposed for the agricultural land use district. The purpose of the district is to provide opportunities for current and sustainable primary production and secondary processing of agricultural commodities and services through a wide and diverse range of agricultural related uses, while also providing opportunities for innovative use of land to support community resiliency.

The development fits the description of Home Occupation and Eating and Drinking Establishments in the Agricultural (A) district. The home occupation is normally a permitted use in the district; however, it is discretionary as the lot is under a defined provincial floodplain. Eating and Drinking Establishments are always a discretionary use in the Agricultural District. The definitions are as follows:

Eating and Drinking Establishments *means a development used for the sale of prepared food and beverages to the public for on-site or off-site consumption. This includes, but is not limited to: fast food establishments, restaurants, neighborhood bars and pubs, and breweries.*

Home occupation *means any occupation, trade profession, or craft carried by an occupant of a dwelling as a use secondary to the residential use of the land, and which does not change the character of or have any exterior evidence of such secondary use other than signage as allowed in this Bylaw. This includes but is not limited to: Business Services, General Commercial Services, General Contractor Services, Health and Medical Services, Personal Service Shops, and Professional, Financial, and Office Support Services.*

DISCRETIONARY USE <i>(use definitions can be found in Section 16)</i>	POSSIBLE ASSESSMENT CRITERIA													
	VISUAL APPEARANCE	TRAFFIC/ ACCESS	NOISE	ODOR	LIGHT	DUST	VIBRATION	ENVIRONMENTAL	MUNICIPAL INFRASTRUCTURE	FISCAL	CUMULATIVE	SAFETY	IMPACT OF LOSS OF LAND	COMPATIBILITY WITH ADJACENT LAND USES
Eating and Drinking Establishments	X	X	X	X	X	X		X	X		X	X	X	X

Visual impact: The simulated golf will be located indoors, in the shop. The developer would like to serve beer during the simulated golf game, hence the use of “eating and drinking establishment”.



Traffic Access: The simulated golf/eating and drinking establishment is accessed via the highway 88 intersection with the town road 6 Ave NE and the MD road RGE RD 55.

Noise: The development is 133 m from Sawridge F.N.

Odour: Odour is not expected to be a problem with this development.

Light: The applicant may wish to add lighting to the site for safety reasons. Exterior lighting must be kept within the site as per section 8.6.1 of the LUB.

Dust: The development is accessed via gravel roads. The extra traffic may stir up some dust. A home based business is limited to 8 visits each day.

Environmental: No environmental impact is expected as a result of the development.

Municipal Infrastructure: The development will not use municipal utilities. The road municipal road touse will be approximately 120 m.

Cumulative: There are a number of different uses in the surrounding area, but none that are similar to the proposed use of simulated golf. Sawridge F.N. has a commercial strip along the HWY.

Safety: The main safety concern for this development is the access from HWY 88 to 6 AVE NE. the access is close to the truck-stop intersection and traffic are congested at times. The developer must also ensure that the building where the development is to take place is suitable for public use.

Impact of Loss of land: The development is not expected to cause loss of land.

Compatibility with Other Land Uses: The uses in the vicinity are quite eclectic: closest to the development is low a density residential/agricultural area. There is also an apartment building, a commercial strip, recreational development (ball diamond), a fairly large wetland area and a sewage lagoon nearby.

Section 8.14.4 Development adjacent to sewage/ wastewater lagoons requires special consideration. The following are minimum setback requirements for lands adjacent to sewage/ wastewater lagoons:

- » **Residence, school, hospital, or food establishment** – the setback distance from the nearest building on lands that contain a residence, school, hospital, or food establishment is 300 m (984.3 ft).

The setback distance to the sewage/wastewater lagoon is more than 350 m.

Section 9.5.1 Home occupations shall not involve:

- (b) activities that use or store hazardous material in quantities exceeding those found in a normal household; or
- (c) any use that would, in the opinion of the Development Authority, materially interfere with or affect the use, enjoyment, or value of neighbouring properties.

Section 9.5.2 Exterior signage, display or advertisement is limited to a business identification sign as permitted in Section 10: Signs.

Section 9.5.3 A home occupation is no longer considered a home occupation if it changes the character or becomes the main use of the parcel.

Section 9.5.6 In the **Agricultural (A) and Urban Reserve (UR)** districts, a maximum eight (8) business visits per day are permitted unless a greater number is approved by the Development Authority.

BENEFIT/RISKS:

The use proposed is at the home occupation intensity. To expand the uses the land must be rezoned.

FINANCIAL IMPLICATION:

No substantial financial implication is expected. Property taxes for the lot will increase.

PUBLIC ENGAGEMENT LEVEL/REFERRALS:

- The application was referred to Sawridge First Nation on July 10, 2024 to make it to the council meeting on July 12, 2024. Given the location of the development, the MPC may consider postponing the decision until Sawridge has replied.
- The application was sent to the Town of Slave Lake. The following comment was made: "As the property is not in the IDP or Waterfront Plans we do not have a formal comment to provide from the MPC. However, as an adjacent landowner we have no concerns with this development."

RECOMMENDED MOTION:

That the Municipal Planning Commission APPROVE Development Permit Application 24-D-025 for **Home Occupation - up to three (3) employees on-site (simulated golf) and Eating and Drinking Establishments** with the following conditions:

1. **A home occupation is no longer considered a home occupation if it changes the character or becomes the main use of the parcel.**
2. **A maximum eight (8) business visits per day are permitted unless a greater number is approved by the Development Authority.**
3. **Home occupations shall not involve activities that use or store hazardous material in quantities exceeding those found in a normal household; or**
4. **Prior to the commencement of the use, the Municipal District of Lesser Slave River No. 124 and the Province of Alberta require that all developers obtain Building Permits, Plumbing Permits, Gas Permits, Electrical Permits, and Private Sewage and Disposal System Permits prior to the new use shop to ensure the building is suitable for the use. The developer shall contact certified building inspectors to obtain all relevant permits and upon issuance, shall provide a copy to the Municipal District immediately.**
5. **Any exterior lighting shall be directed so that the area illuminated is contained entirely within the site.**
6. **Landowners shall be required to obtain a new development permit from the Development Authority if the accessory building is to: become the main building on a lot; contain the primary use on the property.**
7. **No parking on municipal roads is permitted in the MD unless explicit consent has been provided by the MD. When accessing the need for on-site parking, applicants shall assume that no parking is**

permitted on municipal roads.

8. The applicant shall ensure that dust and noise control measures are undertaken to prevent such items from becoming an annoyance to neighboring landowners.

9. The following noise levels (decibel level, dBA) should not be exceeded when measured from the exterior to a residential dwelling, hospital or school:

45dBA between 7am and 7pm

35dBA between 7pm and 7am

10. If the use of the building is intensified or expanded, the parcel of land must be rezoned to a suitable land use district.

11. The developer shall keep site clean and orderly.

12. No other buildings or uses are allowed on this lot without municipal authorization.

13. The developer must obtain any and all necessary permits and approvals from any and all other regulatory bodies which may have jurisdiction over this proposal.

14. This permit does not excuse any violation of any regulation or act which may affect the proposed project.

15. The development shall not commence until 21 days after the Date of Decision.

16. The Development Permit is valid for a 12-month period starting from the Date of Decision.

17. If the Development Permit has been appealed to the Subdivision and Development Appeal Board or the Lands and Property Tribunal, the development shall not commence until after the board of appeal has rendered a decision.

18. If the Development Permit has been appealed to the Subdivision and Development Appeal Board or the Lands and Property Rights Tribunal, the Development Permit will be valid for a 12-month period starting from the date of decision by the board hearing the appeal and in accordance with all conditions placed on it by the board.

19. The development will be carried out in accordance with the approved application, approved plans and all the conditions contained in this Development Permit Notice of Decision.

20. Any appeal of this decision lies to the Land and Property Rights Tribunal pursuant to section 685(2.1) of the Act.

ALTERNATIVE MOTION:

1. That the Municipal Planning Commission TABLE Development Permit 24-D-025 for a Home Occupation - up to three (3) employees on-site (simulated golf) and Eating and Drinking Establishments, until Sawridge First Nation has had an opportunity to reply.

2. That the Municipal Planning Commission REFUSE Development Permit 24-D-025 for a Home Occupation - up to three (3) employees on-site (simulated golf) and Eating and Drinking Establishments stating reasons.

Prepared By: Ann Holden, Planning & Development Officer

Reviewed By: Samantha Dyck, Planning & Development Officer

Approved By: Rudolf Liebenberg, Director Planning, Utilities, & Protective Services



Lesser Slave River
 Planning & Development

DEVELOPMENT PERMIT APPLICATION

I/We hereby make application under provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and form part of this application.

Application No.:
 24-D-025
 Form Received:
 July 5/24

I/We understand that this application must contain the following:

STRUCTURE INFORMATION:		SITE INFORMATION:		BUILDING PLANS OUTLINING:	
Proposed Structure	Proposed Use	Site Plan (page 4)	Size	Floor Plan	
Existing Structure	Existing Use	Setbacks	Height	Exterior Finishes	

APPLICANT NAME:
 [Redacted]

POSTAL ADDRESS: [Redacted] **POSTAL CODE:** [Redacted]

HOME NUMBER: [Redacted] **CELL NUMBER:** [Redacted]

Complete if different from applicant:

REGISTERED LANDOWNER NAME:
 [Redacted]

POSTAL ADDRESS: [Redacted] **POSTAL CODE:** [Redacted]

HOME NUMBER: [Redacted] **CELL NUMBER:** [Redacted]

LAND LOCATION:
 SW 5 73 5 5 OR [Redacted] [Redacted] [Redacted]
Quarter Section Township Range Meridian Lot Block Plan

TOTAL NUMBER OF:
 39.97 OR [Redacted]
Acres Hectares

DESCRIBE THE EXISTING DEVELOPMENTS ON THE LAND:
 40 x 80 Shop
 16 x 30 older House/cottage
 Power, water, Gas,



**Lesser Slave River
Planning & Development**

DEVELOPMENT PERMIT APPLICATION | SECTION 2

Application No.:

DESCRIBE THE PROPOSED DEVELOPMENT:
Run Indoor Golf Simulators In Shop

DESCRIBE THE PROPOSED USE:
for Indoor Golf

IF DEVELOPMENT/USE INVOLVES CONSTRUCTION:

Building Size:	Meters Feet	Length x Width:	Meters Feet
Height (grade to peak):	Meters Feet	Siding Material:	
Roofing Material:		Rear Yard Setback to Property Line:	Meters Feet
Front Yard Setback to Property Line:	Meters Feet	Estimated Cost of Project: \$	
Smallest Side of Yard Setback to Property Line:	Meters Feet	Estimated Completion:	
Start Date:			

Is this Application for the Principal or Secondary Use on this Parcel? (please check one) Principal Secondary

Is the Development Within 1/2 mile of a Provincial Highway? Yes No

 If yes, Highway #: 88

 If yes, a Roadside Development Permit is Required from Alberta Transportation, Provided? Yes No

Does the Subject Land Contain an Oil or Gas Facility or Pipeline? Yes No

Does the Subject Land Contain a Water Body or River? Yes No

 If yes, Name: Sawridge Creek

Is the Development Near Slopes of 15% or Greater? Yes No

Type of Sewage System: will be installing open Discharge
(septic field, holding tank, open discharge, lagoon, municipal servicing)

I/WE HEREBY DECLARE THAT THE ABOVE INFORMATION IS, TO THE BEST OF MY/OUR KNOWLEDGE, FACTUAL AND CORRECT.
If different from applicant.

Signature of Applicant: _____
Signature of Registered Landowner: _____

Date: July 05/2024
Date: July 5/24

FOR ADMINISTRATIVE USE

Land Use Classification:

Fee Enclosed: Amount: Receipt No.:

Yes No





**Lesser Slave River
Planning & Development**

DEVELOPMENT PERMIT APPLICATION | SITE PLAN



Note: The location sketch must be completed. Please indicate the following items on the sketch: **access/approaches, set backs, water bodies, right of ways,** and provide the dimensions of the **sides, front, back, and height.** Should the space provided be insufficient when answering any of the above questions, please attach a list of additional information.

LEGAL LAND DESCRIPTION:								
SW	5	73	5	5	OR			
<small>Quarter</small>	<small>Section</small>	<small>Township</small>	<small>Range</small>	<small>Meridian</small>		<small>Lot</small>	<small>Block</small>	<small>Plan</small>
<div style="background-color: black; width: 100%; height: 100%;"></div>					<div style="text-align: right; font-family: cursive;">July 5/24</div>			
<small>Signature of Registered Landowner</small>					<small>Date</small>			



Lesser Slave River
Planning & Development

DEVELOPMENT PERMIT APPLICATION | RIGHT OF ENTRY

Please complete the following right-of-entry form and include it with your Development Permit Application.

Right of Entry for an Authorized Person of the Municipal District of Lesser Slave River No. 124
for the Purposes of a Site Inspection of the Land Affected by the Proposed Permit Application.

IDO

I DO NOT

give consent for an authorized person of the Municipal District of Lesser Slave River No. 124 to enter upon the land that is subject to the application for the purposes of making a site inspection in order to evaluate the proposed application and monitor its compliance.

LAND LOCATION:

SW 5 73 5 5 OR _____
Quarter Section Township Range Meridian Lot Block Plan

Applicant Name (please print)

Signature of Applicant

Date

July 05 / 2024



Lesser Slave River

Municipal Planning Commission

Subject: **Subdivision Application - Multi-Lot** **Phase 1**
 7/16/2024

Date:

Presented By: Ann Åsfrid Holden

Attachments: Site inspection photos, application, subdivision plan, location map, stormwater map with elevation

File Number	22-S-03
Land Use District	Residential Un-Serviced (RUS)
Community:	Lawrence Lake
Legal Location	NW-24-69-25-W4M
Applicant:	Timothy and Vicki Jones
Landowner(s):	Timothy and Vicki Jones

BACKGROUND:

- The parcel of land that is located on the eastern edge of Lawrence Lake.
- The parcel is adjacent to crown land and lakeshore (east, north, and west), and private property (south).
- The proposed subdivision is accessed from HWY 2 via Lawrence Lake Dr and TWP RD 693.
- An area Structure Plan was developed and recently passed to guide development for this area.
- The land is currently vacant. No development permits have been issued for the lot.
- The lot contains no oil and gas development.
- A geotechnical report, a biophysical report, a stormwater management report, and a traffic impact assessment was completed for the development of the area structure plan.
- The proposed lots meet the minimum size requirements established in the Land Use Bylaw. The smallest lot is 0.303 ha and the minimum requirement is 0.186 ha).
- When the Area structure plan was referred to Alberta Forestry and Parks, shoreland protection was of outmost importance and therefore the Municipal Reserve was taken as land instead of money in-lieu of reserve.
- The TIA recommends verifying traffic volumes in the future since the traffic volume forecast is done using full time residence occupancy, while the dwellings in the Lawrence Lake subdivision may be seasonal dwellings. The TIA recommended to allow for the registration of 8-9 lots before an updated traffic count is needed. The municipality has control over the subdivision process and municipal roads, while Alberta Transportation and Economic Corridors controls intersections between municipal roads and highways. If an intersection upgrade is necessary in the future, the cost would probably be shared between the MD and the province. The MD can recover some of the costs from developers; this is typically done through security or off-site levies (our municipality has not updated the off-site levies to include highway upgrade costs).

- The applicants, Timothy and Vicki Jones, have applied to the Municipal District to subdivide 10.7 ha out of NW-24-69-25-W4 into 25 un-serviced country residential lots, one public utility lot of 0.3 ha, two Environmental Reserve lots (3.43 ha) and one Municipal Reserve lot (1.24 ha) when fully built out. This approval is for the first stage of the subdivision only and includes eight residential lots (3.437 ha), one municipal reserve lot, and two environmental reserve lots. The public utility lot is currently included in the next subdivision stage.
- The initial application has been revised a few times – the latest was received March 28, 2024.

SITE ANALYSIS:

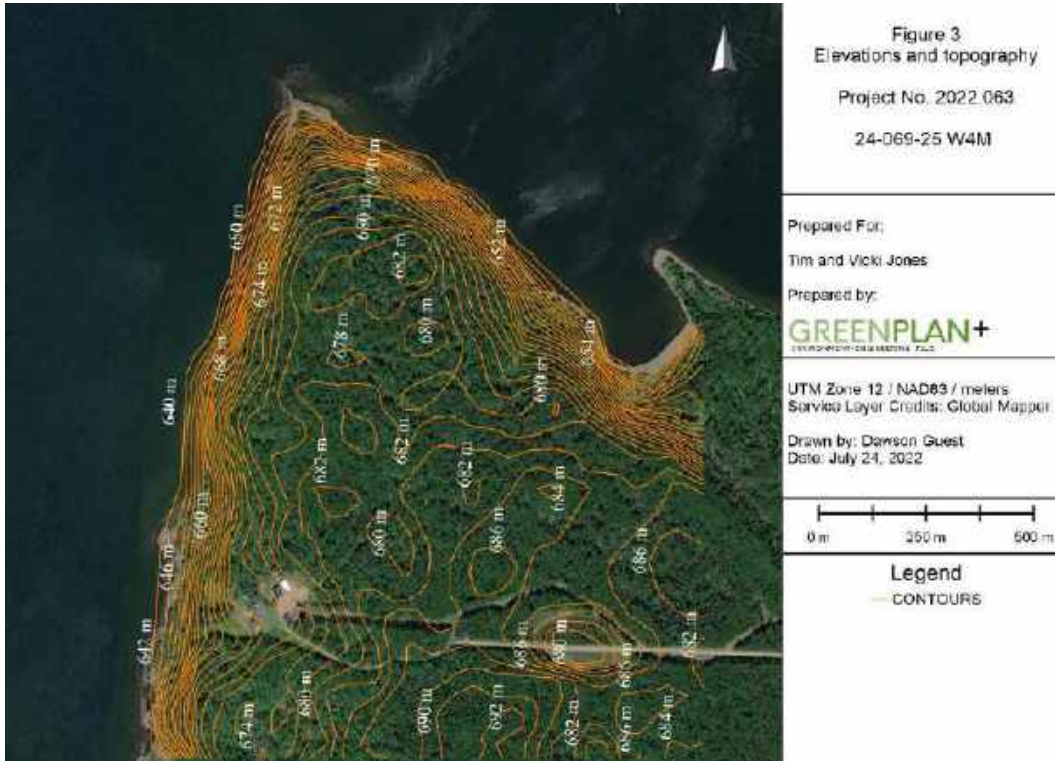
Existing Parcel Area of NW-24	+/- 20.15 ha	+/- 49.8 ac
Lot 1	+/- 0.309 ha	+/- 0.76 ac
Lot 2	+/- 0.313 ha	+/- 0.77 ac
Lot 12	+/- 0.382 ha	+/- 0.94 ac
Lot 13	+/- 0.362 ha	+/- 0.89 ac
Lot 14	+/- 0.660 ha	+/- 1.63 ac
Lot 15	+/- 0.564 ha	+/- 1.39 ac
Lot 16	+/- 0.453 ha	+/- 1.12 ac
Lot 17	+/- 0.394 ha	+/- 0.97 ac
Municipal Reserve 18MR	+/- 1.24 ha	+/- 3.06 ac
Environmental Reserve 19ER	+/- 2.29 ha	+/- 5.66 ac
Environmental Reserve 20ER	+/- 1.14 ha	+/- 2.82 ac
Reminder (road/17 lots/PUL)	+/- 12.04 ha	+/- 29.75 ac

Servicing Type: The subdivision will be serviced with 7,500 L underground cisterns and holding tanks. Administration suggests registering a caveat on title to ensure future landowners know that they must install a cistern to be consistent with statutory plans. Wastewater will be collected in holding tanks and trucked away. The geotechnical investigation revealed that the soil's permeability is low (medium plastic silty clay). Since the lots are to be serviced by cisterns, the subdivision is not constrained by groundwater availability to service the subdivision.

Road Accessibility: The developer is constructing new roads for the project as per the Area Structure Plan. The developer must name the new roads as per the MDs street naming policy.

Soil type: 7 boreholes were recorded during the soil investigation. The soil generally consists of silty clay from 0.1 metres to 3 metres and silty sand from 3 metres to 7.5 metres. No groundwater seepage was observed; the engineer therefore presumes that groundwater will not be a concern for the design and construction of the foundation of any building structure. The bearing capacity for footing foundation should be 150 kPa for the site. The site is also suitable for slab-on-grade design that is constructed on a compacted sub-grade on the site.

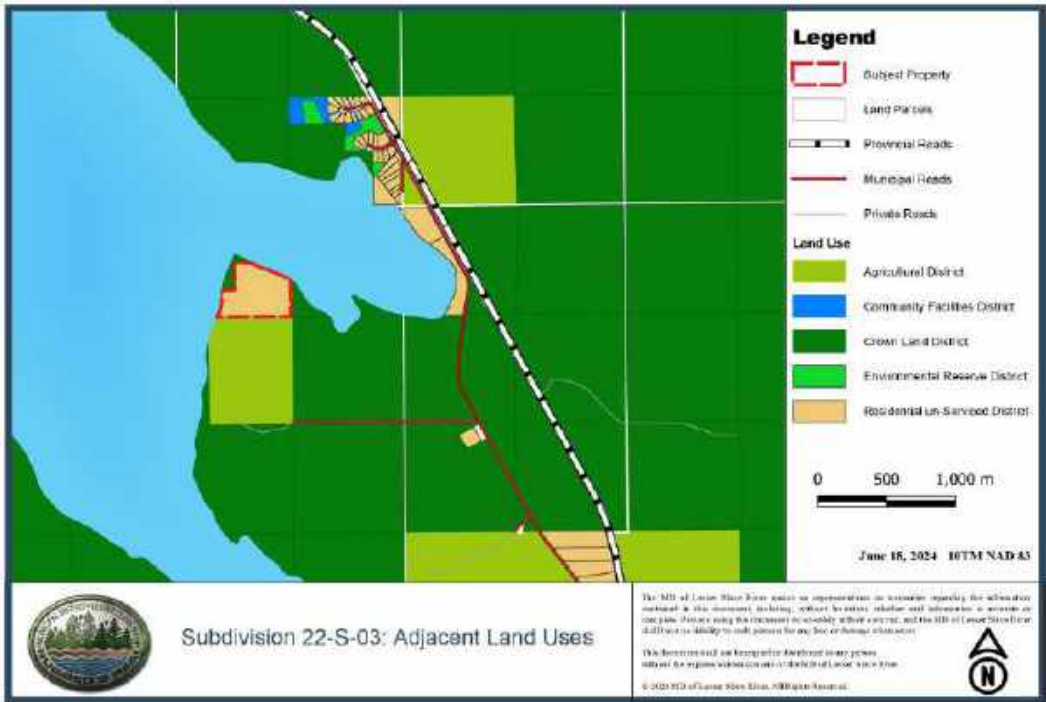
Topography: The land is gently rolling on the top, with steeper slopes going towards the lakeshore. The slope was a concern for Alberta Forestry and Parks; the environmental reserve and municipal reserve follows the landscape topography to act as a buffer between the lots and the lake. The environmental and municipal reserves cover the steep slopes of the land and therefore protect both the residents and the lake from harm. The lots' building pockets are approximately 15-25 metres above the lake.



Wetland inventory: The wetland inventory indicate that the land contains fen and swamp in the developable area of the parcel of land. The onsite investigation (biophysical investigation) did not reveal the same locations for the wetland.

Farmland inventory: Not applicable for this residential subdivision. (There is no data for the lot on Alberta soil viewer since it is in the green area).

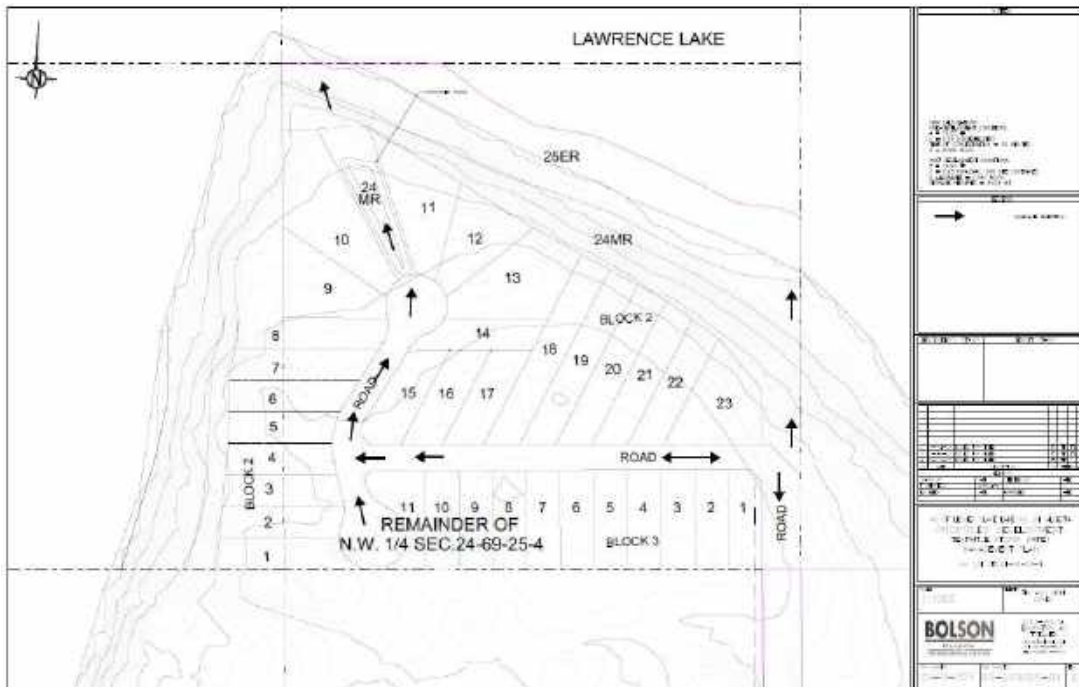
Use of land in the vicinity: The subdivision has crown land on two sides and agricultural land on the south side.



Flood risk/storm water: The natural drainage of the parcel is going towards the northwest. Drainage will be controlled through ditches, with a storm water pond to protect the lake/land during storm events. Storm water for the first phase of the subdivision must be able to provide sufficient stormwater management as the MD does not know when the next phase will be completed.



Drainage swale for the proposed road.



Drainage Plan

RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:

Municipal Development Plan

Section 2.0 Community Areas policies apply to this application.

Policy 2.1.2 Country Residential Development

All multi-lot country residential subdivision development proposals shall be evaluated according to the following:

- (a) The applicant shall demonstrate to the satisfaction of the MD that the land in question is safe from flooding, erosion, subsidence, groundwater inundation, or other hazards utilizing guidelines prepared by Alberta Environment;
- (b) The development is compatible with adjacent land uses and environmentally sensitive areas;
- (c) Its proximity to other multi-lot country residential subdivisions;
- (d) The availability of groundwater supply. For any proposal that results in an overall density in excess of five lots per quarter not including the balance, that proposes to utilize wells or groundwater-fed dugouts for water supply, the applicant shall submit an assessment prepared by a qualified professional engineer in accordance with Alberta Environment guidelines. Where lots are proposed to be served by cisterns, restrictive covenants shall be registered as a condition of subdivision approval, prohibiting the use of wells or other means of groundwater collection;
- (e) Proposed sewage disposal. The MD requires that applicants make provision for sewage disposal in accordance with provincial requirements. For all multi-lot country residential development proposals in excess of five lots per quarter section, not including the balance, the applicant shall submit a geotechnical assessment prepared by a qualified professional engineer that indicates the suitability of the subject lands to accommodate sewage disposal systems, and provides an assessment of water table conditions; and

(f) Has access to existing roads or includes internal roads to service the development, which shall be constructed by the developer to municipal standards.

Subdivision proposals that do not meet the requirements of this policy to the satisfaction of the MD should be refused.

Engineering studies were conducted to ensure the land is suitable for the intended use of a multi-lot residential subdivision. As long as road construction and stormwater management are constructed to municipal standard, future residents should not worry about flooding. The subdivision is in an environmentally sensitive area; policies in the Area Structure Plan outlines how to mitigate impact on wildlife. One of the proposed conditions of subdivision approval is the registration of a restrictive covenant for the use of cisterns. A geotechnical study was conducted, showing that the water table for the lot is low, but also that the rate of permeability is low. Given the soil tests, combined with the closeness to the lake, the applicants were proposing holding tanks for the sewage servicing of the lots. This is also reflected in the ASP. Access roads to serve the development is to be built by the developer.

Policy 2.2.2 Environmental Reserve

Lands that are subject to a flood hazard, contain sensitive habitat, or are subject to potential erosion due to steep or unstable slopes, shall be dedicated as Environmental Reserve (ER) at the time of subdivision. In accordance with the Act, ER may be dedicated as a lot or in the form of an easement.

In collaboration with Alberta Forestry and Parks, the steep slopes between the lots and the lake have been taken as environmental reserve and municipal reserve. This is done to protect the lake from the residential use and to protect residents from potential harm to the dwellings by forcing them away from the slopes.

Legal contemplation has been done for the taking of reserves for phased subdivisions – does the subdivision authority have the power to demand the dedication for reserves for the whole quarter section, or is it limited to taking reserves out of only the first phase? Section 661(1) of the Act permits the authority to require dedication of reserves in respect of the “parcel of land that is the subject of the proposed subdivision”. Since the full quarter section is the “parcel” that is the subject of the proposed subdivision, it would seem that reserves for the full quarter may be taken at the time of the first phase subdivision (for our case it is taking both 19ER and 20ER). However, it is arguable that in essence the land that is the subject of the subdivision is only that encompassed in the first phase and, consequently reserves may be taken just for that area (only 19ER in this case). Since both options have merits, the dedication of ER can be changed. The area structure plan has not included ER in the phases. The argument for taking the full reserve at this stage is to ensure protection of the slopes if only the first phase of the subdivision is completed.

Policy 2.3.1 FireSmart Design Principles

The MD shall encourage developers to recognize “FireSmart: Protecting Your Community from Wildfire” design principles when preparing Area Structure Plans and designing subdivisions, and minimize the potential for wildfire damage through:

- a) provision of recreational facilities along the outer perimeter of the development so that the developed portions may be separated from environmentally sensitive areas;*
- b) provision of a fire guard which shall serve as a buffer between development and the surrounding environmentally sensitive areas; and*
- c) development of trails between developments and surrounding forested lands which may be used in an emergency for fire prevention purposes;*
- d) Installation of fire-resistant building and roofing materials.*

Two competing concerns had to be balanced for this development. To protect the lake, a buffer to preserve the slope and lake from development was included in the ASP. To balance this, stricter policies on building material for the areas that could be controlled by the landowner (within their lot) was included in the ASP policies.

Policy 2.4.4 Road Access Required

All subdivision and development proposals shall have access to developed roads. The provision of roads associated with a proposed subdivision or development are the sole responsibility of the developer. This includes:

- (a) the construction of internal subdivision roads;
- (b) the upgrading of intersections or adjacent municipal roads if deemed necessary through a traffic impact assessment or if required by Alberta Transportation;
- (c) the provision of approaches to individual lots or development sites; and
- (d) the dedication of land to accommodate future road widening.

Potential upgrades to municipal roads are addressed in the Traffic Impact Assessment (TIA) prepared for the development. The first stage of the subdivision does not trigger any upgrades.

Policy 2.4.5 Compliance with Standard

All roads shall be developed in accordance with the MD’s engineering design standards. This includes the development of service roads for Highways as shown on Map 1, internal subdivision roads, and grid roads. After subdivision approval, the developer’s engineer and the MD engineer/MD staff will meet to review the road design to ensure that the design is up the MD standard.

Policy 2.4.6 Road Design

All internal subdivision roads shall be developed to recognize FireSmart standards. This includes providing roads in new development with multiple entrance and exit. A secondary exit trail is being registered as a caveat on SW-24-69-25-W4.

Policy 2.5.11 Development Agreement

The developer is responsible for the provision of all on-site and off-site infrastructure required to service the site, including the payment of offsite levies. Development agreements may be required as a condition of subdivision and/or development permit approval.

Area Structure Plan

The Lawrence Lake Area Structure Plan creates the “blueprint” for how to develop the subdivision. The following policies are applicable for the subdivision stage:

3.3.1 The development of the Plan area shall be consistent with the land uses shown in Figure 3 – Land Use Concept.



3.3.4 The ASP area shall be developed in accordance with the Tentative Subdivision Plan outlined in Appendix A.

3.4.3 The dedicated Municipal Reserve Lands shall be consistent with the lands shown in Figure 5 – Open Space Map and shall not exceed 10% of the total land area. Where 10% of land dedication cannot be achieved, the M.D. of Lesser Slave River may seek costs based on the value of the land and remaining portion of the land dedication.

Municipal Reserve was taken as land for this subdivision as per the Area Structure Plan.

3.4.6 At the time of subdivision, the Environmental Reserve lands shall be established in accordance with the Municipal Government Act, as generally shown in Figure 5 - Open Space Map.

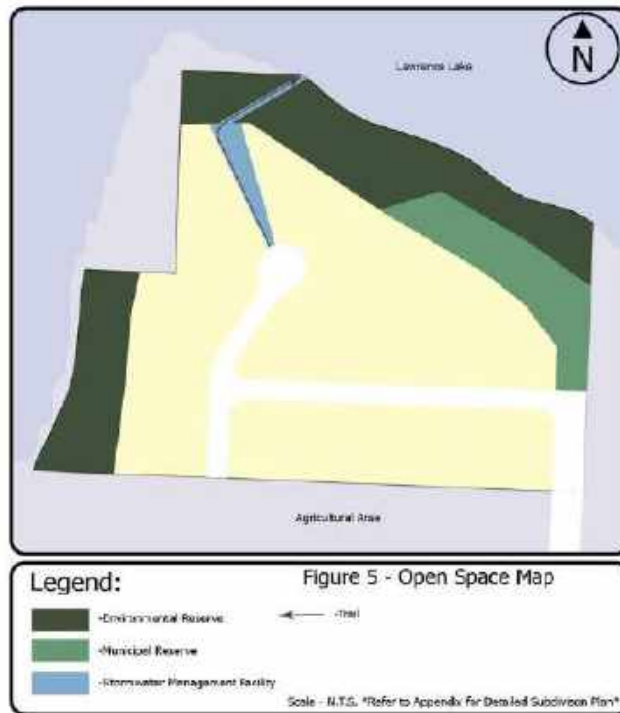
Land that can be taken as Environmental Reserve according to the Act Section 664 is:

- “(1) (a) a swamp, gully, ravine, coulee or natural drainage course,
 (b) land that is subject to flooding or is, in the opinion of the subdivision authority, unstable, or
 (c) a strip of land, not less than 6 metres in width, abutting the bed and shore of any body of water.

(1.1) A subdivision authority may require land to be provided as environmental reserve only for one or more of the following purposes:

- (a) to preserve the natural features of land referred to in subsection (1)(a), (b) or (c) where, in the opinion of the subdivision authority, those features should be preserved;
- (b) to prevent pollution of the land or of the bed and shore of an adjacent body of water;
- (c) to ensure public access to and beside the bed and shore of a body of water lying on or adjacent to the land;
- (d) to prevent development of the land where, in the opinion of the subdivision authority, the natural features of the land would present a significant risk of personal injury or property damage occurring during development or use of the land.”





3.5.1 The development shall implement the recommendations outlined in the Traffic Impact Assessment completed by ISL as part of the application.

The analysis of the projected traffic count is one of the reasons for the phased subdivision.

3.5.4 The construction of the public roadways shall be in conformance with the M.D. of Lesser Slave River's Municipal Servicing Standards or Alberta Transportation standards where applicable.

3.7.1 The proposed stormwater management facility within the Plan area shall be as generally illustrated in Figure 7 - Stormwater Management. The final location and size of the stormwater facility shall be determined at detailed design.

We need to ensure that the phased development can stand alone – in case the second stage of the subdivision is not happening for a while. Since the road is already being built, the engineering will be for the entire project, but with an additional analysis of the stormwater for the first phase of the subdivision.

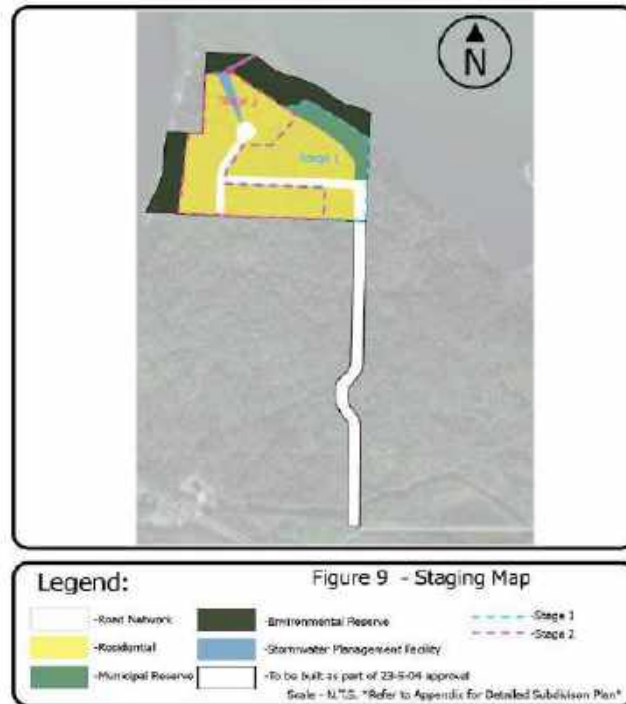
3.7.4 Prior to construction, the developer shall obtain the necessary Water Act approvals for stormwater discharge into the lake.

With the roads in place, the stormwater must be developed to ensure that the lake is not negatively impacted.

3.8.1 Shallow utilities shall be provided within the Plan area at the sole expense of the developer within appropriate road right-of-way and/or within easements on private property established at the detailed subdivision design stage to the satisfaction of the utility providers for the M.D. of Lesser Slave River.

A right-of-way may be dedicated for electricity and other shallow utilities. The final placement will be decided at the engineering stage. Natural gas will not be provided to the subdivision at this time.

5.3 The development of the Plan area shall follow the indicated phasing plan established in Figure 9 – Staging Map.



5.6 Prior to stripping and grading of the Plan area, a grading plan and erosion and sediment control report shall be submitted to the satisfaction of the M.D. of Lesser Slave River. This plan shall depict road and swale grades and include public utility lot areas, stormwater management plans and an erosion and sediment control plan and shall be approved by the M.D. of Lesser Slave River.

Engineering drawings of the improvement is to be provided for MD approval.

5.7 Subdivision and development of the lands shall be in accordance with the M.D. of Lesser Slave River’s policies and regulations at the time of subdivision and development.

5.8 Subdivision and development of the lands shall meet all provincial and federal regulations at the time of subdivision and development.

Land Use Bylaw

Section 7.2.1 The purpose of the Residential Serviced District is to provide for primarily residential uses in areas that **are not** typically serviced by municipal water and/or wastewater.

Section 7.2.4 Development regulations for development in the Residential Un-Serviced District:

REGULATION	PROVISION
1 Parcel Area (minimum)	1,860 m ² (20,021 ft ²)
2 Parcel Width (minimum)	7.5 m (24.6 ft)
3 Site Coverage (maximum)	Fifty percent (50%)

REGULATION	PROVISION
FOR PRINCIPAL BUILDING:	
4	Front Yard Setback (minimum)* 7.5 m (24.6 ft)
5	Rear Yard Setback (minimum)* 7.5 m (24.6 ft)
6	Side Yard Setback (minimum)* 7.5 m (24.6 ft)
7	Height (maximum) 10.6 m (34.8 ft)
FOR ACCESSORY BUILDING(S):	
8a	Rear Setback from Lot Line (minimum) – without driveway* 0.9 m (3 ft)
8b	Side/ Rear Setback from Lot Line (minimum) – with driveway* 5.5 m (18 ft)
9	Side Yard Setback (minimum)* 1.2 m (3.9 ft)
10	Height (maximum) 8 m (26.3 ft)

The proposed lots conform with minimum parcel area, and parcel width of the Residential Un-Serviced (RUS) Districts.

Section 7.2.6 The minimum parcel area described in subsection 7.2.4 shall only be permitted if it can be demonstrated by the applicant that an on-site septic system and water well can safely be accommodated on the lot, meeting all applicable provincial and federal standards. To demonstrate this, applicants shall carry out the necessary soils and percolation tests by a registered professional engineer to demonstrate the proposed septic system will comply with provincial stands and information required to demonstrate that water quantity is in compliance with the Water Act.

Section 7.2.7 If an on-site water well or septic system cannot be installed and the development requires tanks the applicant may be required to enter into a road use agreement to pay costs related to the impacts associated with increased truck traffic on the roads to provide water and sanitary services.

Section 8.14.2 Development adjacent to landfills requires special consideration. The department responsible for regulating the health and protection in Alberta outlines the following setback requirements that shall be followed:

- » **Operating Landfill & Waste Storage Site (Transfer Station)** – the setback distance from a residence, school, hospital, or food establishment or water well for human consumption is 450 m (1,476.4 ft).
The setback to an operating landfill is -operating landfill more than 7.5 km.
- » **Non-operating Landfill & Waste Storage Site (Transfer Station)** – the setback distance from a residence, school, hospital, or food establishment is 300 m (984.3 ft).
The setback to a non-operating landfill more than 2 km.

Section 8.14.4 Development adjacent to sewage/ wastewater lagoons requires special consideration. The following are minimum setback requirements for lands adjacent to sewage/ wastewater lagoons:

- » **Residence, school, hospital, or food establishment** – the setback distance from the nearest building on lands that contain a residence, school, hospital, or food establishment is 300 m (984.3 ft).

The setback distance to the sewage/wastewater lagoon is more than 300 m.

Section 8.15.1 Where a parcel of land borders on or contains a coulee, ravine or valley, without a watercourse, the minimum required setback of a building from the top of the coulee, ravine or valley shall be 7.5 m (25 ft) or three (3) times the depth of the coulee, ravine or valley as defined by a registered surveyor, whichever is the greater distance, unless the Development Authority is satisfied through the submission of a detailed geotechnical engineering study from a registered engineer that a lesser setback is warranted.

Section 8.15.2 Land within the setback areas defined in subsection 8.15.1 shall be kept in its natural state. Existing vegetation or tree removal shall not be permitted unless the Development Authority is satisfied, through the submission of a detailed geotechnical engineering study from a registered engineer, that the removal of the vegetation or trees will not have an adverse effect on the integrity of the slope. Where vegetation is to be retained a covenant shall be registered against the property preventing future removal or damage of the vegetation.

Section 8.15.3 Development shall not be allowed on unstable slopes or land characterized by soil instability unless it can be demonstrated to the satisfaction of the Development Authority by a registered engineer that the development is safe for construction.

Section 8.15.4 The Development Authority may increase any minimum yard or setback requirement for lands within close proximity to unstable or steep slopes based on the outcomes of a geotechnical report.

Careful consideration of slopes during the subdivision design will mitigate concerns about slope stability and vegetation management as the subdivision approaches the development stage. The geotechnical reports did not indicate slope stability issues.

Section 11.12.1 The Subdivision Authority for the MD must receive, consider and make decisions on all subdivision applications.

Section 11.12.2 The Subdivision Authority shall assess subdivision applications based on Section 653.1 of the MGA and the regulations in this Bylaw.

Section 11.12.3 In making a decision, the Subdivision Authority may:

- a) approve an application with conditions;*
- b) refuse the application; or*
- c) if the applicant fails to submit all the outstanding information and documents on or before the date referred in notification to the applicant of an incomplete application, the application is deemed to be refused.*

Section 11.12.4 No subdivision application shall be permitted within a floodplain where the area cannot accommodate for a dwelling and its supporting water and wastewater services.

Section 11.12.5 If the Subdivision Authority refuses an application as outlined in subsection 11.12.3, reasons for the Subdivision Authority's decision must be provided in writing.

Section 11.12.6 The Subdivision Authority may impose conditions considered appropriate for the development and as provided for in the MGA, the Regulation or in this Bylaw on a subdivision approval.

Section 11.12.7 A subdivision application that creates a new lot or boundary adjustment where an existing dwelling or other activity that requires on-site servicing shall not be approved unless the Subdivision Authority is satisfied that it can be demonstrated that sanitary servicing can be adequately provided on-site.

Section 11.12.8 A subdivision application that creates a new lot or boundary adjustment where an existing dwelling or other activity requires on site water supplies of sufficient quality and quantity are available to support the existing and proposed future development on the new lot.

Section 11.12.9 A subdivision application shall not be approved unless the Subdivision Authority is satisfied with the management of stormwater and can meet the MD's Municipal Servicing Standards.

Section 11.12.12 For the purpose of this Bylaw, an unsubdivided quarter section includes quarter sections where a portion of the land has been subdivided for a public utility, a railroad, or a community use (such as a ski field or protection of a creek, and a separate title exists).

BENEFIT/RISKS:

Council has approved an Area Structure Plan (ASP) for the development of the parcel. The area residents and provincial agencies had the opportunity to give input into the ASP and their feedback was used to mitigate risks.

FINANCIAL IMPLICATION:

With the first phase of subdivision, no new upgrades are needed to municipal roads or the intersection between the municipal roads and HWY intersection; the financial implication for this subdivision is therefore negligible for the MD taxpayer.

However, the MD needs to monitor the need for upgrades to roads due to traffic counts. If upgrades to HWY intersections are needed, the MD may be impacted. It is likely that costs to intersection upgrades are shared between the MD and provincial departments as the provincial park generates a fair deal of traffic for the roads. Other municipalities use off-site levies to pay for upgrades such as road infrastructure. The MD's Off-Site Bylaw does not include road upgrades in the off-site levy bylaw No. 2000-09 to pay for road upgrades.

PUBLIC ENGAGEMENT LEVEL/REFERRALS:

As per the Matters Related to Subdivision and Development Regulation section 7 (8) the subdivision authority is not required to send a complete copy of the subdivision if the land is contained within an Area Structure Plan. The subdivision was therefore not referred to referral agencies.

There are no adjacent landowners for this subdivision other than the developers.

RECOMMENDATION:

That the Subdivision Authority approve Phase 1 of the proposed Subdivision Application 22-S-03 as per policy 5.3 of the area structure plan. This includes lots 1,2,12,13,14,15,16,17, 18MR, 19 ER, and 20ER as shown on the plan showing proposed subdivision dated February 13, 2024, as the application

- addresses the relevant considerations listed in Section 9 of the Matters Related to Subdivision and Development Regulation; and
- complies with the Municipal Development Plan (Bylaw 2012-09), Lawrence Lake Area Structure Plan (Bylaw 2024-11) and with the Land Use Bylaw 2021-17.

RECOMMENDED MOTION:

That the Municipal Planning Commission APPROVE Subdivision Application for 22-S-03 with the following conditions:

- a. That prior to the endorsement the registered owner and/or developer enter into and comply with the terms and conditions of a development agreement with the Municipal District of Lesser Slave River pursuant to Section 655 of the Municipal Government Act, which the development agreement may be registered by way of caveat against the subject title. *This Development Agreement may include provisions for electricity, gas, and access approaches to the appropriate lots.*
- b. Prior to endorsement of this plan, the road and approaches to all parcels shall be constructed at the owner's and/or developer's expense and to the specifications and satisfaction of the Municipal District of Lesser Slave River No. 124 Transportation Department.
- c. Road names and signage as per the municipal policy at the developer's expense.
- d. Electricity is made available for the lots.
- e. Prior to registration of the plan:
 - a) The required storm water management facility is constructed to provincial specifications with erosion measures in place, minimum 24 hour retention time, and 0.3 m freeboard.
 - b) Water act approval for outfall structures
 - c) The MD may need to acquire a DLO for the outfall structure. Any costs associated with a application is to be paid for by the applicant.
- f. Caveat shall be registered concurrently with the plan of subdivision by means of a restrictive covenant for cistern use only.
- g. Prior to endorsement of an instrument affecting this plan, the landowner pays an off-site levy of \$200 per lot (\$1,600) to the Municipal District of Lesser Slave River in accordance with the Municipal District's policies and bylaws.
- h. That land taxes are fully paid prior to final approval (endorsement) of this instrument effecting the subdivision is requested.
- i. This conditional subdivision approval is valid for one year. If the developer cannot complete the conditions in this time frame, the developer shall apply for a subdivision time extension.

NOTES FOR INFORMATION PURPOSES ONLY: (These are not conditions of approval)

The subdivision is being approved because the land that is proposed to be subdivided is, in the opinion of the Subdivision Authority, suitable for the purpose for which the subdivision is intended, and the proposal is considered by the Subdivision Authority to conform with the provisions of the Municipality's Development Plan, and Land Use Bylaw. The matters listed in Section 9 through 20 of the Matters Related to Subdivision and Development Regulation and any submission made by adjacent property owners were considered with care.

To avoid unnecessary complication, you are advised that no site work to affect your proposal should be commenced prior to endorsement of a registerable instrument by this office and/or without prior consultation with the Municipal District of Lesser Slave River as to its requirements regarding such

development.

The following information is provided as required by Section 656(2)(a) of the Municipal Government Act. Any appeal of this decision lies to the Land and Property Rights Tribunal pursuant to section 678(2) of the Act.

Please note your next step is to contact an Alberta Land Surveyor and obtain your survey so we may proceed with the Development Agreement.

ALTERNATIVE MOTION:

Alternative 1:

That the Subdivision Authority approve Phase 1 of the proposed Subdivision Application 22-S-03 as per policy 5.3 of the area structure plan. This includes lots 1,2,12,13,14,15,16,17, 18MR, and 19 ER as shown on the plan showing proposed subdivision dated February 13, 2024.

(Remove 20ER from the approval)

Alternative 2:

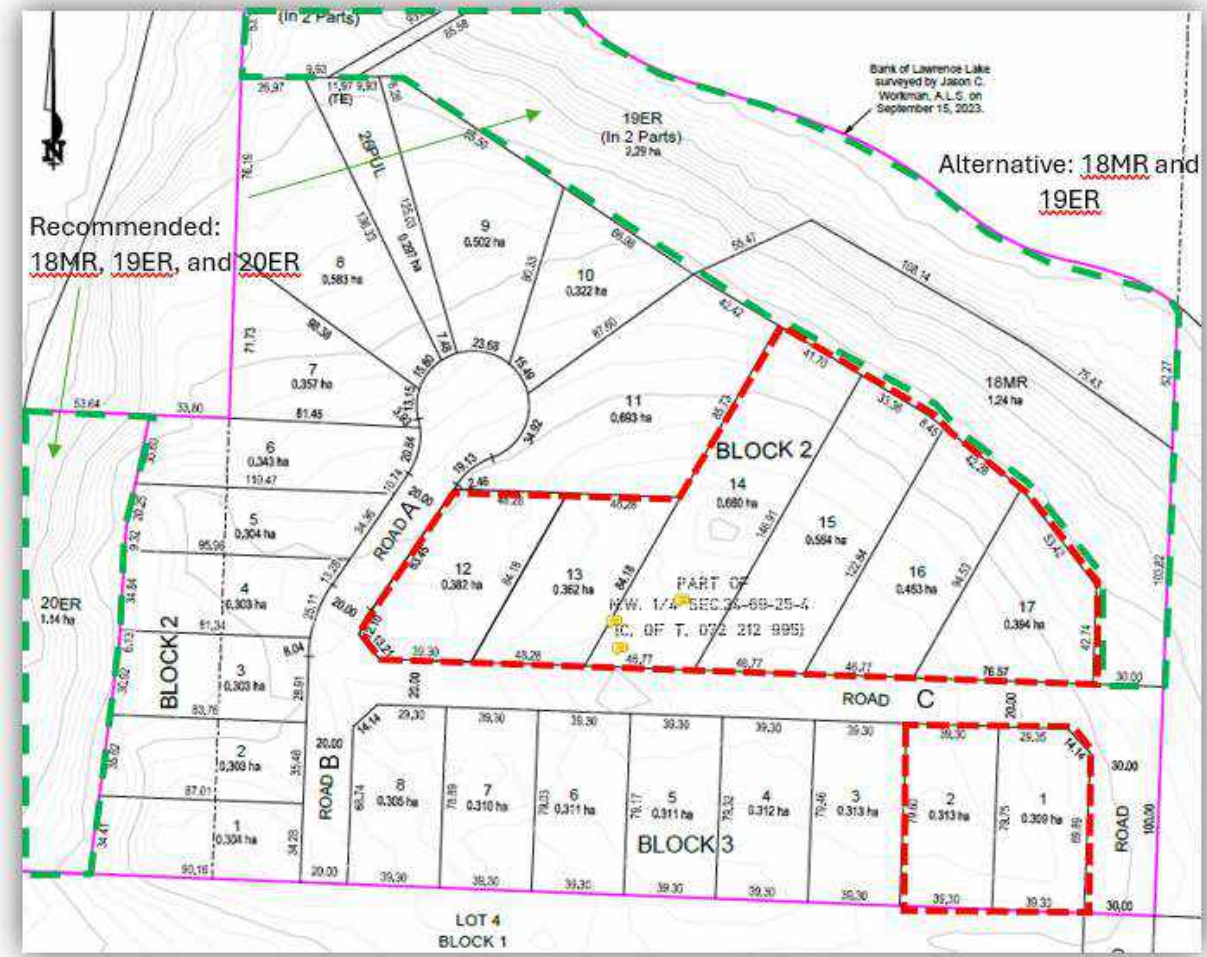
That the Subdivision Authority approve the entire subdivision encompassing phase one and phase two with the conditions in the recommended motion.

Prepared By: Ann Åsfrid Holden, Planning & Development Officer

Reviewed By: Samantha Dyck Planning & Development Officer

Approved By: Rudolf Liebenberg, Operational Director of Planning, Utilities & Protective Services

Subdivision 22-S-03



This is the subdivision plan that is referred to in the following pages. Phase one is outlined in red. The red outline has been continued for the pictures taken during the site check for the lots in phase one. The Environmental Reserve and Municipal Reserve in green outlines the two options from the subdivision report.

Subdivision 22-S-03



View from the cul-de-sac.
The lots on this location has a gentle slope towards the lake. The environmental reserve starts where the slope steepness increases.
Note the Public Utility lot on picture 4 where the stormwater pond will be located.

AGENDA ITEM #5.1



The pictures display the drive from the cul-de-sac at the end of Road A to the end of road B. The camper is sitting on Lot 1, Block 2.

Please note the swales for drainage.

AGENDA ITEM #5.1



Drive on road C (from intersection with roads A and B).

- Picture 11 is around Lot 12
- Picture 12 is approximately lot 7
- Picture 13 is lot 13
- Picture 14 is lot 2
- Picture 15 is lot 14
- Picture 16 is lot 1
- Picture 17 is lot 16

Connecting to previous subdivision



The picture to the left is looking towards the agricultural lots and towards TWP RD 693.

Below: Grass has been planted which will stabilize the swales.



Below is the main concern with this road. The slope is steeper than most slopes and it is at the end of a 90 degree curve. No engineering drawing has been submitted for this stage (since we are not technically at that stage yet), therefore the MD does not know if the road aligns with the MD servicing standards.





Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION

Application No:

Form Received:

This form is to be completed in full wherever applicable by the registered owner of the land that is subject of the application or by a person authorized to act on the registered owner's behalf.

APPLICANT NAME *(Authorized person acting on registered owner's behalf):*

POSTAL ADDRESS: POSTAL CODE:

HOME NUMBER: CELL NUMBER: E-MAIL ADDRESS:

Complete if different from applicant:

REGISTERED LANDOWNER NAME:

POSTAL ADDRESS: POSTAL CODE:

HOME NUMBER: CELL NUMBER: E-MAIL ADDRESS:

LEGAL LAND LOCATION *(All or part of the following land to be subdivided):*

NW 24 69 25 4 OR Lot Block Plan
Quarter Section Township Range Meridian

TOTAL NUMBER OF: **MUNICIPAL ADDRESS** *(if applicable):*

49.8 OR 20.1
Acres Hectares

Is The Land Situated Immediately Adjacent to the Municipal Boundary? Yes No

If yes, municipality name:

Is The Land Situated Within 0.8 Kilometres of the Right of Way of a Highway? Yes No

If yes, Highway #: HWY 2

Does The Proposed Parcel Contain or is it Bounded By A River, Stream, Lake or Other Body of Water or by a Drainage Ditch or Canal? Yes No

If yes, name: Lawrence Lake

Is the Proposed Parcel Within 1.5 km of a Sour Gas Facility? Yes No

If yes, name:



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | SECTION 2

Application No.:

EXISTING USE AND PROPOSED USE OF LAND TO BE SUBDIVIDED:

Describe the Existing Use of the Land:
Vacant land

Describe the Proposed Use of the Land:
Residential subdivision - 25 residential lots, reserve lot(s), and remainder

What is the designated Use of the Land as Classified Under a Land Use Bylaw:
Residential Un-Serviced

PHYSICAL CHARACTERISTICS OF LAND TO BE SUBDIVIDED:

Describe the Nature of the Topography of the Land (Flat, Rolling, Steep, Mixed):
Predominantly level with gradual sloping

Describe the Nature of the Vegetation and Water on the Land (Brush, Shrubs, Tree Stands, Woodlots, Sloughs, Creeks, etc.):
Trees and shrubs

Describe the Type of Soil on the Land (Sandy, Loam, Clay, etc.):
Silty Clay

EXISTING BUILDINGS ON LAND TO BE SUBDIVIDED:

Describe any Buildings, Historical or Otherwise, and any Structures on the Land and Whether they are to be Demolished or Moved.
There are no buildings or structures on the land

WATER AND SEWER SERVICES:

If the proposed subdivision is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal:
Private wastewater conforming to current Alberta Private Sewage System Standard of Practice (i.e. holding tanks and fields)/truckfill

I, _____ HEREBY CERTIFY THAT I AM THE REGISTERED OWNER OR AM AUTHORIZED TO ACT ON BEHALF OF THE REGISTERED OWNER AND THAT THE INFORMATION GIVEN ON THIS FORM IS FULL AND COMPLETE AND IS, TO THE BEST OF MY KNOWLEDGE, A TRUE STATEMENT OF THE FACTS RELATING TO HIS/HER APPLICATION FOR SUBDIVISION APPROVAL.

Signature of Applicant _____

March 28, 2024
Date _____

Signature of Registered Landowner _____

March 28, 2024
Date _____



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | SITE PLAN



A large, empty rectangular box intended for the site plan sketch, framed by a double-line border.

Note: The location sketch must be completed. Please indicate the following items on the sketch: **access/approaches, set backs, water bodies, right of ways.** Should the space provided be insufficient when answering any of the above questions, please attach a list of additional information.

LEGAL LAND DESCRIPTION:

NW	24	89	25	4	OR			
Quarter	Section	Township	Range	Meridian	Lot	Block	Plan	

Signature of Applicant: *[Handwritten Signature]* Date: March 28, 2024



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | RIGHT OF ENTRY

Please complete the following right-of-entry form and include it with your Development Permit Application.

Right of Entry for an Authorized Person of the Municipal District of Lesser Slave River No. 124 for the Purposes of a Site Inspection of the Land Affected by the Proposed Subdivision Application.

I DO
 I DO NOT

give consent for an authorized person of the **Municipal District of Lesser Slave River No. 124** to enter upon the land that is subject to the application for the purposes of making a site inspection in order to evaluate the proposed application and monitor its compliance.

LAND LOCATION:

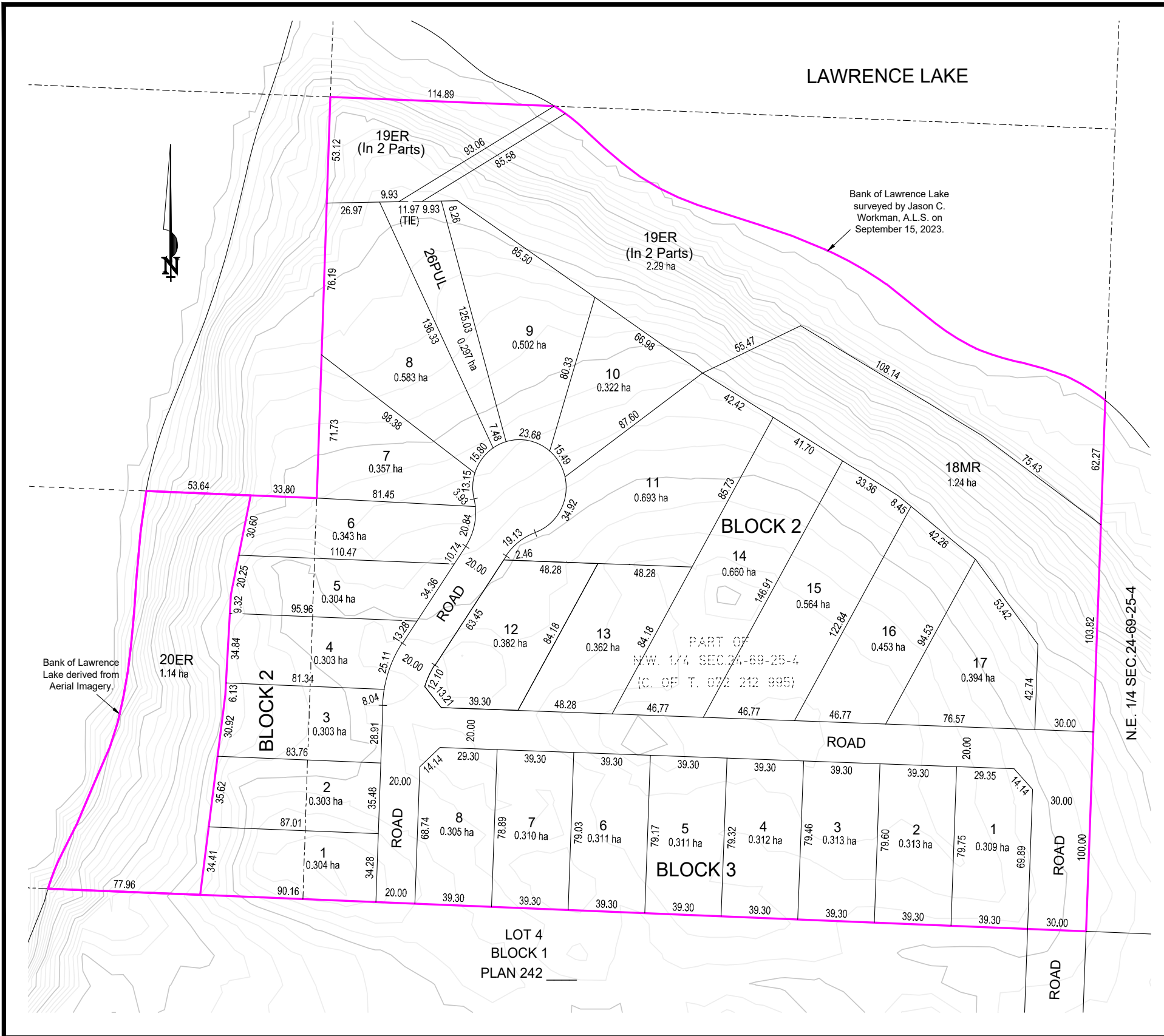
NW	24	69	25	4	OR			
Quarter	Section	Township	Range	Meridian		Lot	Block	Plan

Applicant Name (please print) _____

March 28, 2024

Signature of Applicant: _____

Date _____



Tim and Vicki Jones

NOTES:

- ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.
- ALL DISTANCES ON CURVED BOUNDARIES ARE ARC LENGTHS.
- ALL INFORMATION SHOWN ON THIS PLAN IS BOTH TENTATIVE AND PRELIMINARY, AND SUBJECT TO CHANGE BY THE 'PLAN OF SURVEY'.
- THE BOUNDARY SHOWN, EVEN IF ANNOTATED, IS SUBJECT TO CHANGE BY THE 'PLAN OF SURVEY'.
- THE ZONING OF THIS SUBJECT AREA IS RUS.
- CONTOURS ARE AT INTERVALS OF 1.00m WITH INDEX CONTOURS IN GREY LINES AT 5.00m INTERVALS.
- PLAN TO BE SUBDIVIDED SHOWN OUTLINED THUS: AND CONTAINS: 16.1 ha.



KEY PLAN
NOT TO SCALE

REV. NO.	DATE	ITEM	BY
11	Feb.13/24	REVISED	JF
10	Feb.12/24	REVISED	JF
9	Sept.20/23	REVISED	JF
8	Sept.13/23	REVISED	JF
7	May 18/23	REVISED	JF

REVISIONS

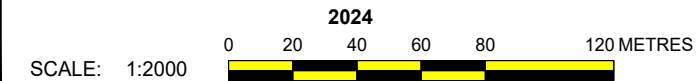
TENTATIVE PLAN SHOWING PROPOSED

SUBDIVISION

OF

N.W. 1/4 SEC. 24 - TWP. 69 - RGE. 25 - W. 4TH MER.
(C. OF T. 072 212 995)

**MUNICIPAL DISTRICT OF LESSER
SLAVE RIVER NO. 124 - ALBERTA**

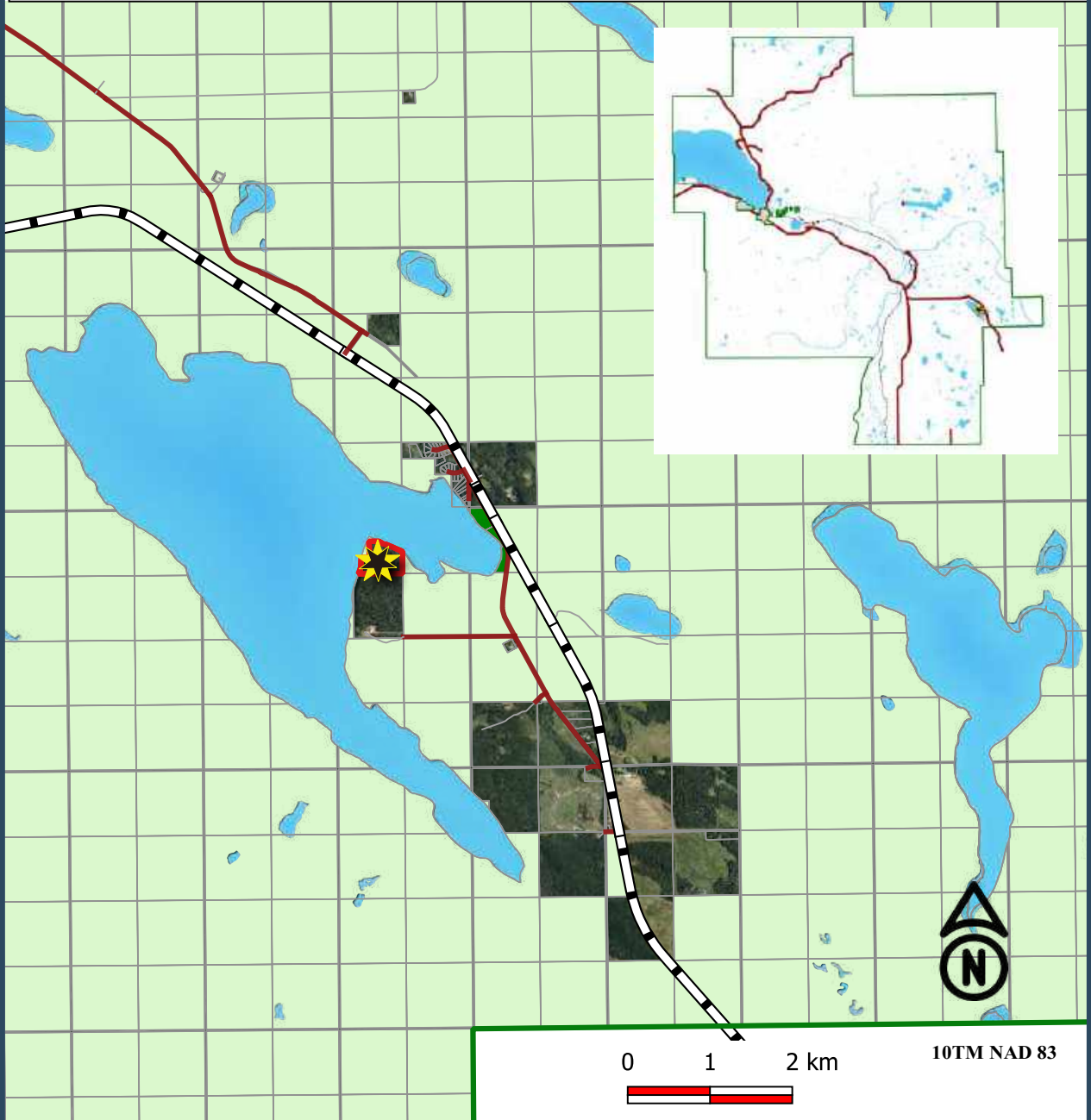


Pals Geomatics Phone: (780) 455 - 3177 Fax: (780) 451 - 2047
Email: edmonton@palsgeomatics.com
Corp. 10704-176 Street NW, Edmonton, Alberta T5S 1G7










FILE NO.	42200011T	DRAFTED BY:	JF	CHECKED BY:	DB/MK
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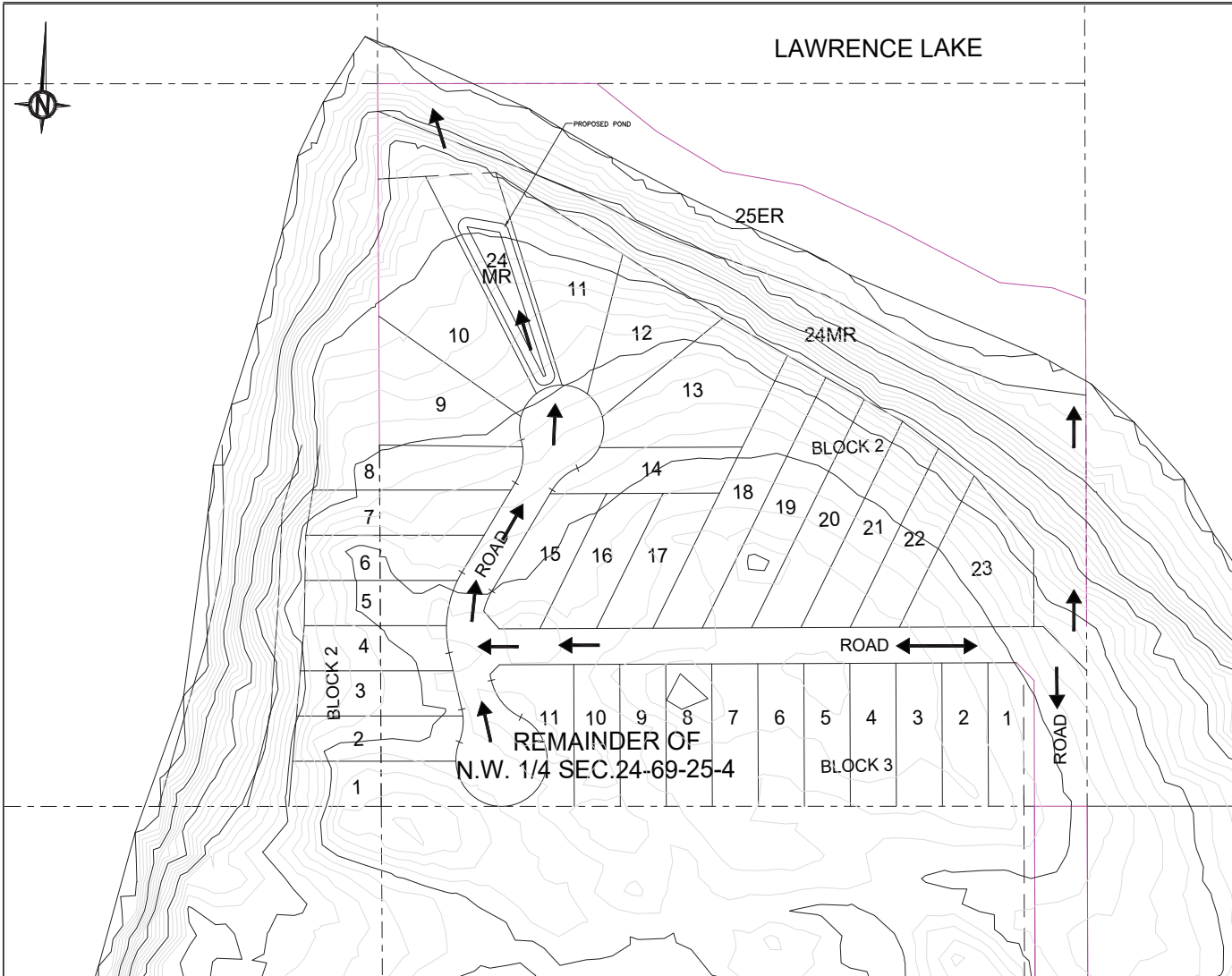


Subdivision Application 22-S-03



Legend

- | | | | | | |
|---|------------------|---|-----------------|---|------------------|
|  | Subject Property |  | MD Boundary |  | Provincial Roads |
|  | Property Star |  | Crown Land |  | Municipal Roads |
|  | Land Parcels |  | Provincial Park |  | Private Roads |



NOTES

SWM CALCULATIONS:
 PRE-DEVELOPMENT CONDITIONS:
 A = 16.03 HA
 C = 0.15 (UNDEVELOPED)
 TIME OF CONCENTRATION = 30 MINUTES
 Q = 0.562 M3/S
 POST DEVELOPMENT CONDITIONS:
 A = 16.03 HA
 C = 0.23 (ROADWAY, 10% SITE COVERAGE)
 Q ALLOWABLE = 0.562 M3/S
 STORAGE REQUIRED = 643.8 M3

LEGEND

→ DRAINAGE DIRECTION

ENGINEER'S STAMP PERMIT STAMP

NO.	DATE	DESCRIPTION	BY	CHKD BY
C	10-JUL-23	ISSUED FOR REVIEW	TS	TT
B	10-JAN-23	ISSUED FOR REVIEW	TS	TT
A	22-JUN-22	ISSUED FOR REVIEW	TS	TT

REVISIONS

DRAWN BY:	DATE:	CHECKED BY:	DATE:
T. SHINNESS	06-JUL-21		
ENGINEER:	DATE:	APPROVED:	DATE:

MD OF LESSER SLAVE LAKE NO. 24, ALBERTA
 PROPOSED DEVELOPMENT
 TENTATIVE STORM WATER
 MANAGEMENT PLAN
 NW 1/4 SEC. 24-69-25-4

SCALE: 1:1000 CDR: TIM AND VICKI JONES

BOLSON 9703-199 ST. EDMONTON, AB T5T-6E8
EST. 1972 www.bolson.ca P:780-466-8271 FAX:780-413-8879

JOB NUMBER: 22-D-007 DWG NUMBER: DD-22D007-01 REV: C



Lesser Slave River

Municipal Planning Commission

Subject:	Subdivision Application
Date:	7/16/2024
Presented By:	Ann Åsfrid Holden
Attachments:	Subdivision application, tentative plan, location map, zoning map, elevation map

File Number	24-S-01
Land Use District	Residential Un-Serviced (RUS) & Agricultural (A) District
Community:	Assineau
Legal Location	0740062; 1; 1 and NE-31-73-8-5
Applicant:	Wendy Barton
Landowner(s):	Wendy Barton, Larry Willis, Rhonda Willis

BACKGROUND:

NE-31-73-8-W5 was subdivided in 1997. The subdivision was to divide the two parcels that were fragmented by the railway line. Off-site levies were collected at the time of subdivision (no receipt found, but it was a condition in the developer’s agreement. It was noted that two mobile homes were located on the lot).

NE-31-73-8—W5 (southern part) was subdivided again in 2007. Money-in-lieu of municipal reserve and off-site levies were collected at the time of subdivision. The MD cannot collect reserve or off-site levies again for this subdivision.

Development permits for 0740062; 1; 1 includes:

- 08-D-031 Manufactured Home (replace an existing one)

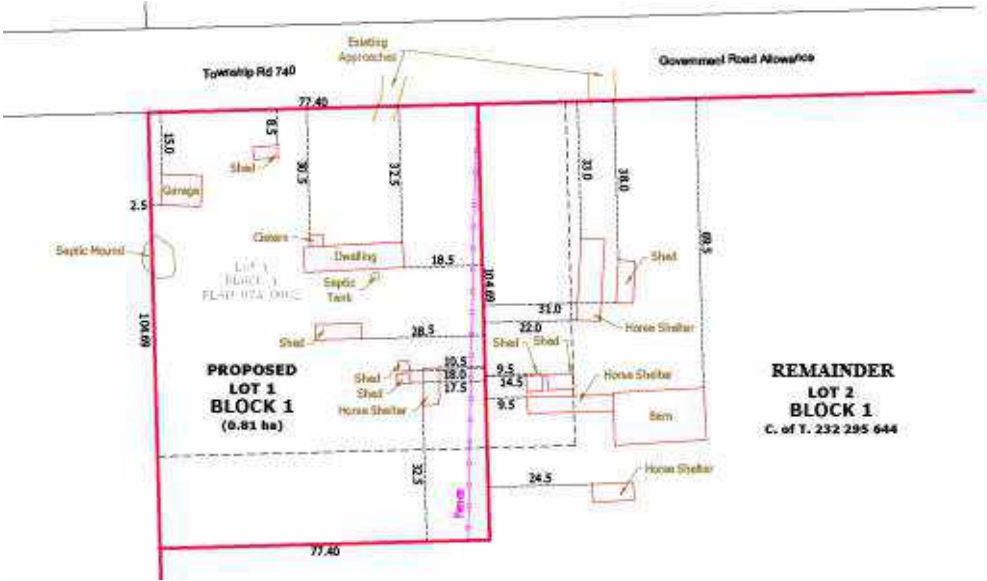
There are no development permits for NE-31-73-8-5. Since the buildings on this lot are farm buildings, they may have been exempted from development permits.

NE-31-73-8-5 currently has buildings that are encroaching onto the neighbour’s lot. In addition, the driveway to access the buildings is utilizing land from 0740062;1;1.

The reason for the lot line adjustment is to bring the lot lines into compliance with the buildings. Currently the lot lines cut the barn in half, and two outbuildings that should belong to NE-31-73-8-W5, are on the 0740062; 1; 1 lot.

The land owners signed the absence of abandoned well form, as there are no abandoned wells on the parcels.

AGENDA ITEM #5.2



*Proposed lot line in red: The horse shelter on lot 1 is 10.5 m from the boundary and the barn on lot 2 is 9.5 m from the lot line.
 Actual lot line (dashed line): 1/3 of the barn on lot 2 is located on lot 1. The horse shelter is encroaching, and two accessory buildings are on the wrong lot.*



The current lot line as it cuts through the barn in the background. Lot 1 is to the right and lot 2 to the left.



Illustration of the current lot line by the horse barn on lot 2.

SITE ANALYSIS:

Existing Parcel Area Lot 1	0.81 ha	2 ac
New Parcel Area Lot 1	+/- 0.81 ha	+/- 2 ac
Existing Parcel Area NE-31	13.04 ha	32.22 ac
New Parcel Area NE-31	+/- 13.04 ha	+/- 32.22 ac

Servicing Type: NE-31-73-8-5 has no services and 0740062; 1; 1 have a cistern for water supply and a septic mound and field for sewage. The tentative plan shows the mound on the property line.



Septic mound on lot 1.

Soil type: 3HW (8) – 5W(2) which means that climate wise the land has moderate limitations due to temperature (heat units for optimal growth). The main limitation of the soil is drainage (excess water not due to inundation (source: Alberta soil viewer map). The applicant describes the soil as sandy. In the soil viewer the soil is described as medium textured: loam, silt loam and very fine sandy loam.



Topography: A terrain analysis was done during the development of the regional growth plan. The land around the subdivision was determined to be *Lacustrine plain (arable)*, which is composed of a lacustrine clay blanket on the Assineau river fan. Incised stream channels, agricultural capability, gentle slopes. (source: Regional Growth Plan- Map Atlas).

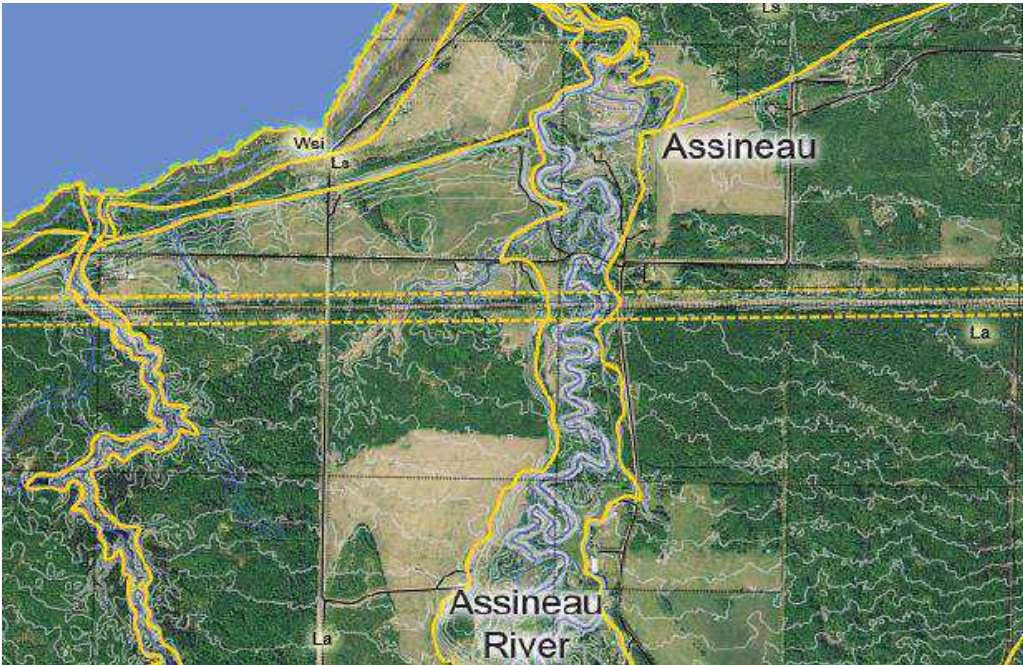


Gently sloping from south towards the north (lake).



Field seen from the east (looking west).

View towards the south (railway).



Topography and soil type (from the regional growth plan mapbook).

Wetland inventory:



A brook goes through the lot.



Picture of the brook (taken from TWP RD 740).



The brook is approximately 2 metres lower than the road.

Farmland inventory: The land was identified in the Frost Hills Local Integrated Resource Plan (1985) as patent and dispositions leading to sale. This may have been inaccurate in the frost Hills plan, as there

was no record of the public land sale in the file. According to this plan the land to the east of the lots are for lakeshore conservation.



The subject land is marked by a red oval.

Flood risk: There is no known flood risk for this property. No study has been conducted for the purpose of this lot line adjustment. Alberta soil information confirms that the drainage of the land is poor. The site check revealed that the soil may not be very permeable as we did find some wet spots. However, the drainage seems to be managed in a way that avoids the buildings.



Pooling of water near approach to lot 2.



Old driveway to lot 2 with no ditch for the water



Swale for drainage.



"Make lemonade": tree planted in wet spot.

RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:

Municipal Development Plan Bylaw 2012-09

Section 2.0 *Community Areas* policies apply to this application.

Policy 2.1.3 Fringe Area Development

Developments on the fringes of the Community Areas shall be carefully regulated by the MD so that the natural amenities of the Community Area are not negatively affected. To that end, the MD shall not normally approve of discretionary developments and Council shall not normally approve of Land Use Bylaw amendments in the areas close to Community Areas unless it can be demonstrated that the proposed developments or subdivisions will not have a negative impact on the Community Area.

Policies 2.2.2 to 2.2.6 Regarding the taking of Reserves

A lot line adjustment is not a true subdivision in the sense that it will create more lots than existed before or will result in the intensification of the use of the subject land. Therefore, reserve is typically not demanded in subdivisions for the sole purpose of a technical boundary adjustment.

Policy 2.4.4 Road Access Required

All subdivision and development proposals shall have access to developed roads. The provision of roads associated with a proposed subdivision or development are the sole responsibility of the developer. This includes the provision of approaches to individual lots or development sites. *The lots have direct access to a municipal road; approaches are checked to ensure they are up to standard during the subdivision process.*

Policy 2.5.6 Water and Sewer Servicing

With the exception of development located within the serviced area of a hamlet or other Community Area, all developments in the MD are required to provide private water and sewer services in accordance with provincial standards.

Policy 2.5.9 Compliance with Existing Systems

When a lot containing an existing house is to be subdivided from a larger parcel, the MD shall determine if the setbacks for the existing sewer system comply with the Alberta Private Sewage Systems Standard of Practice. If it is determined the system is not compliant as a result of subdivision, relocation or upgrading of the system shall be identified as a condition of subdivision approval.

Policy 2.5.11 Development Agreement

The developer is responsible for the provision of all on-site and off-site infrastructure required to service the site, including the payment of offsite levies. Development agreements may be required as a condition of subdivision and/or development permit approval.

Land Use Bylaw 2021-19

Sections 7.2.4 and 7.3.4 Both lots conform with minimum parcel area and parcel width of the residential Un-Serviced (RUS) and Agricultural (A) Districts.

Section 8.14.1 Development adjacent to landfills requires special consideration. The department responsible for regulating the health and protection in Alberta outlines the following setback requirements that shall be followed:

- » **Operating Landfill** – the setback distance from a residence, school, hospital, or food establishment is 450 m (1,476 ft).
- » **The setback to an operating landfill** is approximately 17 km

Section 8.14.4 Development adjacent to sewage/wastewater lagoons requires special consideration. The following are minimum setback requirements for lands adjacent to sewage/ wastewater lagoons:

- » **Residence, school, hospital, or food establishment** – the setback distance from the nearest building on lands that contain a residence, school, hospital, or food establishment is 300 m (984.3 ft).
- » The setback distance to the sewage/wastewater lagoon is approximately 3.5 km.

Section 11.12.1 The Subdivision Authority for the MD must receive, consider and make decisions on all subdivision applications.

Section 11.12.2 The Subdivision Authority shall assess subdivision applications based on Section 653.1 of the MGA and the regulations in this Bylaw.

Section 11.12.3 In making a decision, the Subdivision Authority may:

- a) approve an application with conditions;
- b) refuse the application; or
- c) if the applicant fails to submit all the outstanding information and documents on or before the date referred in notification to the applicant of an incomplete application, the application is deemed to be refused.

Section 11.12.4 No subdivision application shall be permitted within a floodplain where the area cannot accommodate for a dwelling and its supporting water and wastewater services.

The lot lone adjustment can accommodate a dwelling.

Section 11.12.5 If the Subdivision Authority refuses an application as outlined in subsection 11.12.3, reasons for the Subdivision Authority's decision must be provided in writing.

Section 11.12.6 The Subdivision Authority may impose conditions considered appropriate for the development and as provided for in the MGA, the Regulation or in this Bylaw on a subdivision approval.

Section 11.12.7 A subdivision application that creates a new lot or boundary adjustment where an existing dwelling or other activity that requires on-site servicing shall not be approved unless the Subdivision Authority is satisfied that it can be demonstrated that sanitary servicing can be adequately provided on-site.

The lot currently has a mound. Upgrades may be needed.

Section 11.12.8 A subdivision application that creates a new lot or boundary adjustment where an existing dwelling or other activity requires on site water supplies of sufficient quality and quantity are available to support the existing and proposed future development on the new lot.

The current dwelling is serviced by a cistern.

Section 11.12.9 A subdivision application shall not be approved unless the Subdivision Authority is satisfied with the management of stormwater and can meet the MD's Municipal Servicing Standards.

The current development is managing its drainage sufficiently. The lot line adjustment is not changing anything regarding the drainage.

Section 11.12.12 For the purpose of this Bylaw, an unsubdivided quarter section includes quarter sections where a portion of the land has been subdivided for a public utility, a railroad, or a community use (such as a ski field or protection of a creek), and a separate title exists.

BENEFIT/RISKS:

A lot line adjustment is beneficial for the landowners. Buildings and the access road belonging to the owner of NE-31-73-8-W5 are encroaching onto Lot 1. The benefit for the MD is to be able to more accurately assess the properties. The lot line adjustment will also address give NE-31-73-8-W5 proper access to the buildings without to need to utilize the neighbour's land.

There are no risks with approving this subdivision.

FINANCIAL IMPLICATION:

As this is a lot line adjustment, there is no financial implication for the municipality.

PUBLIC ENGAGEMENT LEVEL/REFERRALS:

The subdivision application was sent to the following (with replies):

Adjacent Property Owners

- No submissions received (letters were sent March 25, 2024).

Alberta Forestry and Parks

- No concern.

Alberta Transportation

The subdivision is more than 1.6. km from HWY2. No referral was sent to Alberta Transportation.

Alberta Health Services

The aforementioned application has been received by our office and we are satisfied that the application poses minimal risk to public health.

AHS recommends consideration of the following items be made in order to ensure that the development of this property does not create a nuisance as defined in the Public Health Act: *Nuisance*

and General Sanitation Regulation, NGS Reg, (AR 243/2003):

- The setback distances outlined in Section 15(1) and (2) the *NGS Reg* must be met, these include:
 - No person shall locate a water well within:
 - a) **10 m** of a watertight septic tank, pump out tank or other water tight compartment of a sewage or waste water system,
 - b) **15 m** of a weeping tile field, evaporation treatment mound, or outdoor pit privy,
 - c) **30 m** of a leaching cesspool,
 - d) **50 m** of sewage effluent on the ground surface,
 - e) **100 m** of a sewage lagoon,
 - f) Or **450 m** of any area where waste is or may be disposed of at a landfill within the meaning of the Waste Control Regulation (AR 192/96)
 - Nor shall you locate any of the aforementioned items in a-f within the stipulated distances of an existing well.

Additional mapping of the current surrounding land use, existence of neighbor's wells and sewage systems should be done in order to ensure compliance with Section 15 of the *NGS Reg*. At this time we have no objections to the approval of this application.

Atco

ATCO Electric Ltd. has obtained an easement and a caveat has been registered on title (Registration #242 147 532) to cover our interest regarding existing facilities on the lands. If you have any further questions or require additional information, please do not hesitate to contact to me.

Big Lakes County

- No comments/concern.

CN Rail

No comments received.

High Prairie School District

- No response.

Living Waters catholic School Division

- No response.

Lesser Slave Regional Fire Service

- No issues.

Municipal District Field Services (Transportation)

- I have no concerns with the proposed subdivision, provided that the existing approaches meet standard.

Municipal District Field Services (Utilities)

- No comment/concerns.

Swan River Natural Gas Co-op Ltd.

No comment on this one. We don't have any gas line in the area and have no objections.

Telus Communications

At this time, TELUS has no concerns with the proposed activities.

RECOMMENDATION:

That the Subdivision Authority approve the proposed Subdivision Application 24-S-01 as shown on the tentative plan of subdivision dated March 9, 2024, as the application

- addresses the relevant considerations listed in Section 9 of the Matters Related to Subdivision and Development Regulation; and
- received no written comments from adjacent landowners; and
- complies with the Municipal Development Plan (Bylaw 2012-09) and with the Land Use Bylaw 2019-17.

RECOMMENDED MOTION:

That the Municipal Planning Commission APPROVE Subdivision Application for 24-S-01 with the following conditions:

- a) That prior to the endorsement the registered owner and/or developer enter into and comply with the terms and conditions of a development agreement with the Municipal District of Lesser Slave River pursuant to Section 655 of the Municipal Government Act, which the development agreement may be registered by way of caveat against the subject title. *This Development Agreement may include provisions for electricity, gas, and access approaches to the appropriate lots.*
- b) Prior to endorsement of this plan, approaches to both parcels shall be constructed at the owner's and/or developer's expense and to the specifications and satisfaction of the Municipal District of Lesser Slave River No. 124 Transportation Department.
- c) Pursuant to the Subdivision and Development Regulation, the applicant confirms that the existing sewage disposal system is in compliance with the Alberta Private Sewage Systems Standard of Practice 2021 and amendments thereto. Should the existing system not be in compliance a new or modified system must be installed.
- d) That part of proposed Lot 1 of 2.57 ha (6.35 ac) is rezoned to Residential Un-Serviced (RUS) and part of Lot 2 is rezoned to Agriculture to follow the amended lot lines prior to endorsement.
- e) That land taxes are fully paid prior to final approval (endorsement) of this instrument effecting the subdivision is requested.
- f) This conditional subdivision approval is valid for one year. If the developer cannot complete the conditions in this time frame, the developer shall apply for a subdivision time extension.

NOTES FOR INFORMATION PURPOSES ONLY: (These are not conditions of approval)

The subdivision is being approved because the land that is proposed to be subdivided is, in the opinion of the Subdivision Authority, suitable for the purpose for which the subdivision is intended, and the proposal is considered by the Subdivision Authority to conform with the provisions of the Municipality's Development Plan, and Land Use Bylaw. The matters listed in Section 9 through 20 of the Matters Related to Subdivision and Development Regulation and any submission made by adjacent property owners were considered with care.

The following information is provided as required by Section 656(2)(a) of the Municipal Government Act.

Any appeal of this decision lies to the Land and Property Rights Tribunal pursuant to section 678(2) of the Act.

Please note your next step is to contact an Alberta Land Surveyor and obtain your survey so we may proceed with the Development Agreement.

ALTERNATIVE MOTION:

Alternative 1: Remove condition about a land use amendment and treat the changes to the lot line adjustment as a technical error as per the Municipal Government Act section 692 (6) since it can be argued that the rezoning of the 2-acre lot to slightly different shaped 2 acre lot does not materially affect the bylaw in principle or substance.

That the Municipal Planning Commission APPROVE Subdivision Application for 24-S-01 with the following conditions:

- a) That prior to the endorsement the registered owner and/or developer enter into and comply with the terms and conditions of a development agreement with the Municipal District of Lesser Slave River pursuant to Section 655 of the Municipal Government Act, which the development agreement may be registered by way of caveat against the subject title. *This Development Agreement may include provisions for electricity, gas, and access approaches to the appropriate lots.***
- b) Prior to endorsement of this plan, approaches to both parcels shall be constructed at the owner's and/or developer's expense and to the specifications and satisfaction of the Municipal District of Lesser Slave River No. 124 Transportation Department.**
- c) Pursuant to the Subdivision and Development Regulation, the applicant confirms that the existing sewage disposal system is in compliance with the Alberta Private Sewage Systems Standard of Practice 2021 and amendments thereto. Should the existing system not be in compliance a new or modified system must be installed.**
- d) That land taxes are fully paid prior to final approval (endorsement) of this instrument effecting the subdivision is requested.**
- e) This conditional subdivision approval is valid for one year. If the developer cannot complete the conditions in this time frame, the developer shall apply for a subdivision time extension.**

Alternative 2:

Refusal of this application is not recommended since the lot line adjustment will make lot 2 compliant under the land use bylaw with proper setback distances.

Prepared By: Ann Åsfrid Holden, Planning & Development Officer

Reviewed By: Samantha Dyck, Planning & Development Officer

Approved By: Rudolf Liebenberg, Operational Director of Planning, Utilities & Protective Services



**Lesser Slave River
Planning & Development**

SUBDIVISION APPLICATION

Application No.:

Form Received:

This form is to be completed in full wherever applicable by the registered owner of the land that is subject of the application or by a person authorized to act on the registered owner's behalf.

APPLICANT NAME *(Authorized person acting on registered owner's behalf):*
 [REDACTED]

POSTAL ADDRESS: [REDACTED] **POSTAL CODE:** [REDACTED]

HOME NUMBER: [REDACTED] **CELL NUMBER:** [REDACTED] **E-MAIL ADDRESS:** [REDACTED]

Complete if different from applicant: [REDACTED]

REGISTERED LANDOWNER NAME: [REDACTED]

POSTAL ADDRESS: [REDACTED] **POSTAL CODE:** [REDACTED]

HOME NUMBER: [REDACTED] **CELL NUMBER:** [REDACTED] **E-MAIL ADDRESS:** [REDACTED]

LEGAL LAND LOCATION *(All or part of the following land to be subdivided):*

NE 31 73 8 W5 ^{AND} 1 1 0740062
 Quarter Section Township Range Meridian Lot Block Plan

TOTAL NUMBER OF: **MUNICIPAL ADDRESS** *(if applicable):*
 32.22/2 OR [REDACTED] 85035 TWP RD 740 / 85037 TWP RD 740
 Acres Hectares

Is The Land Situated Immediately Adjacent to the Municipal Boundary? Yes No
 If yes, municipality name: [REDACTED]

Is The Land Situated Within 0.8 Kilometres of the Right of Way of a Highway? Yes No
 If yes, Highway #: [REDACTED]

Does The Proposed Parcel Contain or is it Bounded By A River, Stream, Lake or Other Body of Water or by a Drainage Ditch or Canal? Yes No
 If yes, name: [REDACTED]

Is the Proposed Parcel Within 1.5 km of a Sour Gas Facility? Yes No
 If yes, name: [REDACTED]



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | SITE PLAN



Note: The location sketch must be completed. Please indicate the following items on the sketch: access/approaches, set backs, water bodies, right of ways. Should the space provided be insufficient when answering any of the above questions, please attach a list of additional information.

LEGAL LAND DESCRIPTION:

NE	3	73	S	WS	OR	1	1	0740062
Quarter	Section	Township	Range	Meridian		Lot	Block	Plan

Signature of Applicant

Date

Jan. 11 / 2024



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | RIGHT OF ENTRY

Please complete the following right-of-entry form and include it with your Development Permit Application.

Right of Entry for an Authorized Person of the Municipal District of Lesser Slave River No. 124 for the Purposes of a Site Inspection of the Land Affected by the Proposed Subdivision Application.

I DO
 I DO NOT

give consent for an authorized person of the **Municipal District of Lesser Slave River No. 124** to enter upon the land that is subject to the application for the purposes of making a site inspection in order to evaluate the proposed application and monitor its compliance.

LAND LOCATION:

NE 31 73 8 W5 DR 1 1 0720062
Quarter Section Township Range Meridian Lot Block Plan

[Redacted]

Applicant Name (please print)

[Redacted]

Signature of Applicant

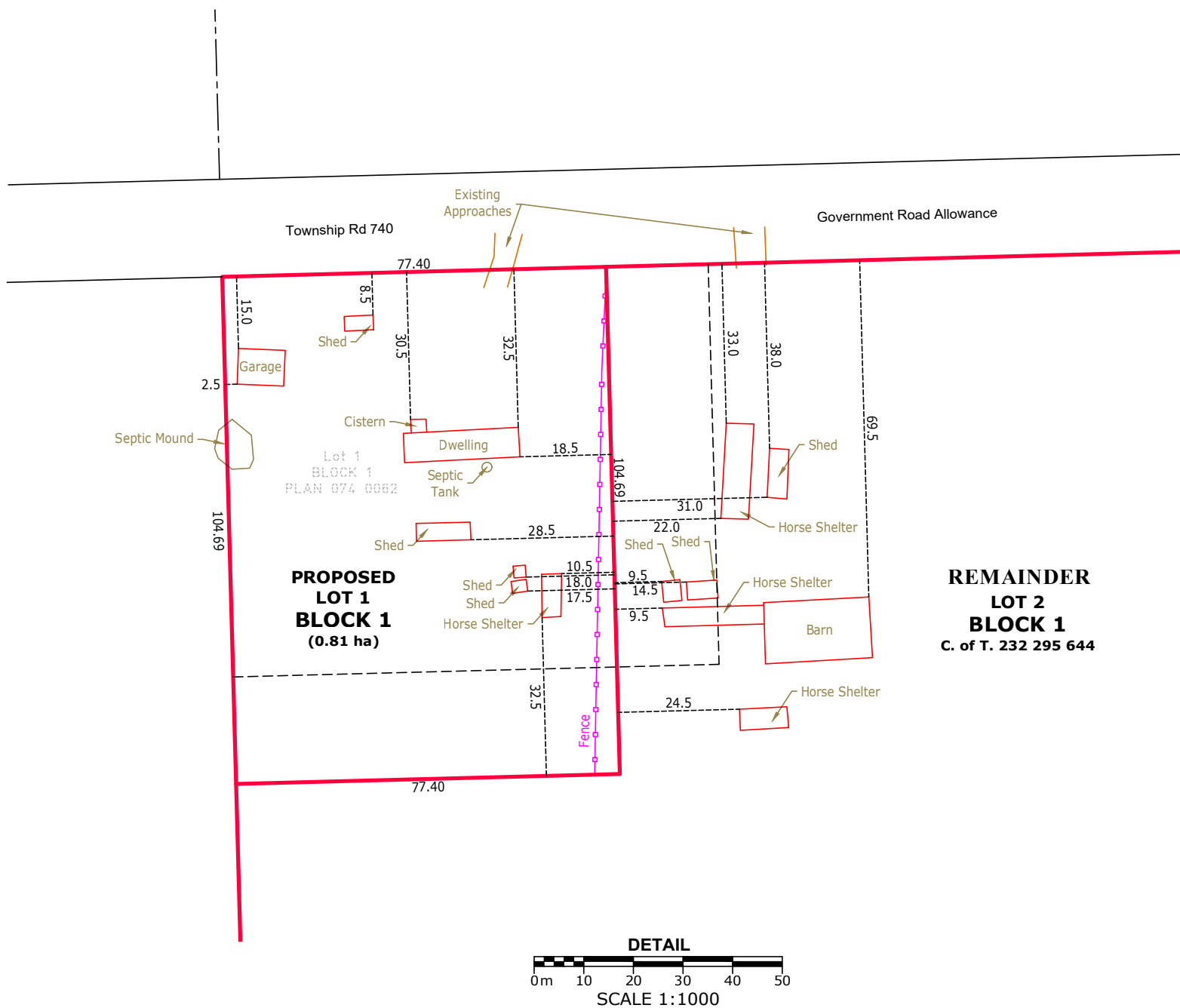
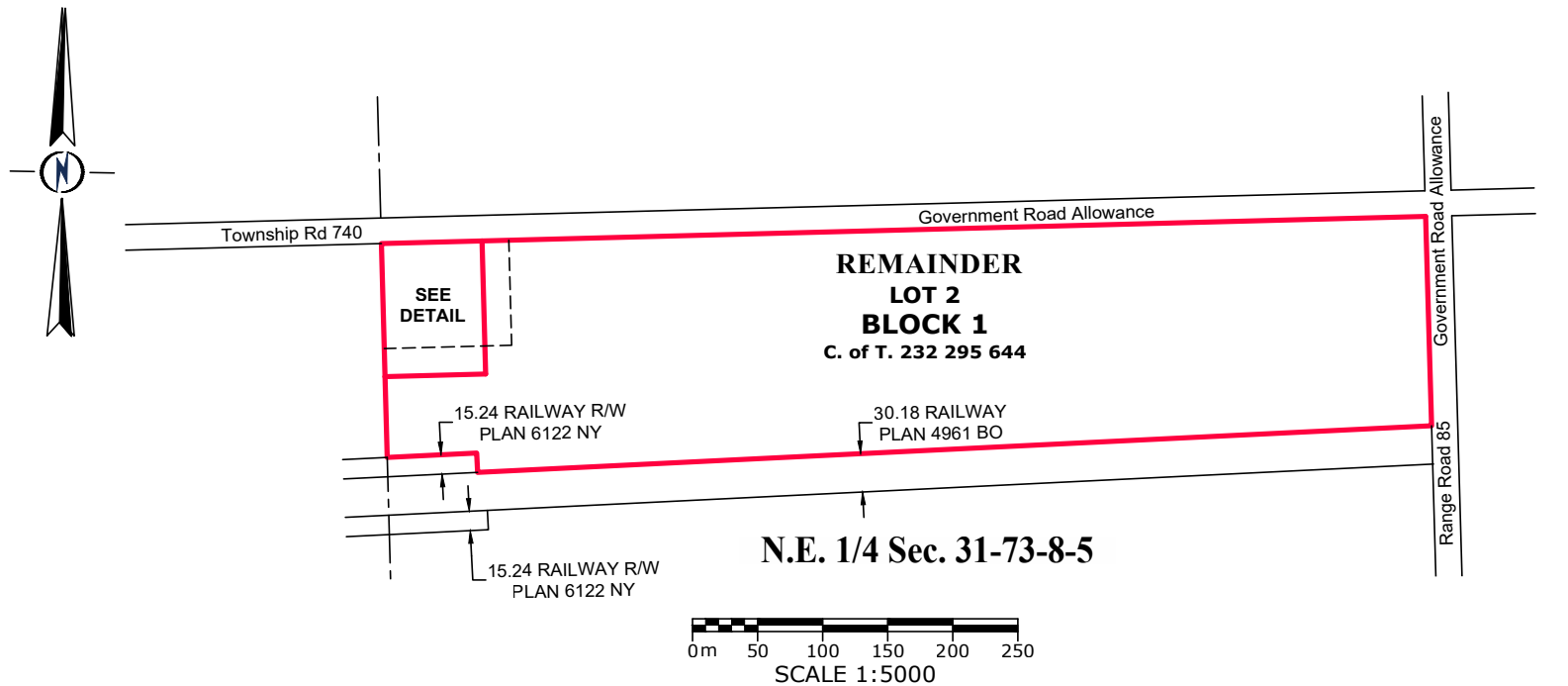
Jan. 11 / 2024
Date

[Redacted]

TENTATIVE PLAN FOR PROPOSED LOT LINE ADJUSTMENT OF LOT 1, BLOCK 1, Plan 074 0062 AND C. of T. 232 295 644 N.E. 1/4 Sec. 31-73-8-W5

85035/85037 Township Road 740, M.D. of LESSER SLAVE RIVER No.124, ALBERTA

Prepared for:
Wendy Barton
and
Larry Willis



NOTES

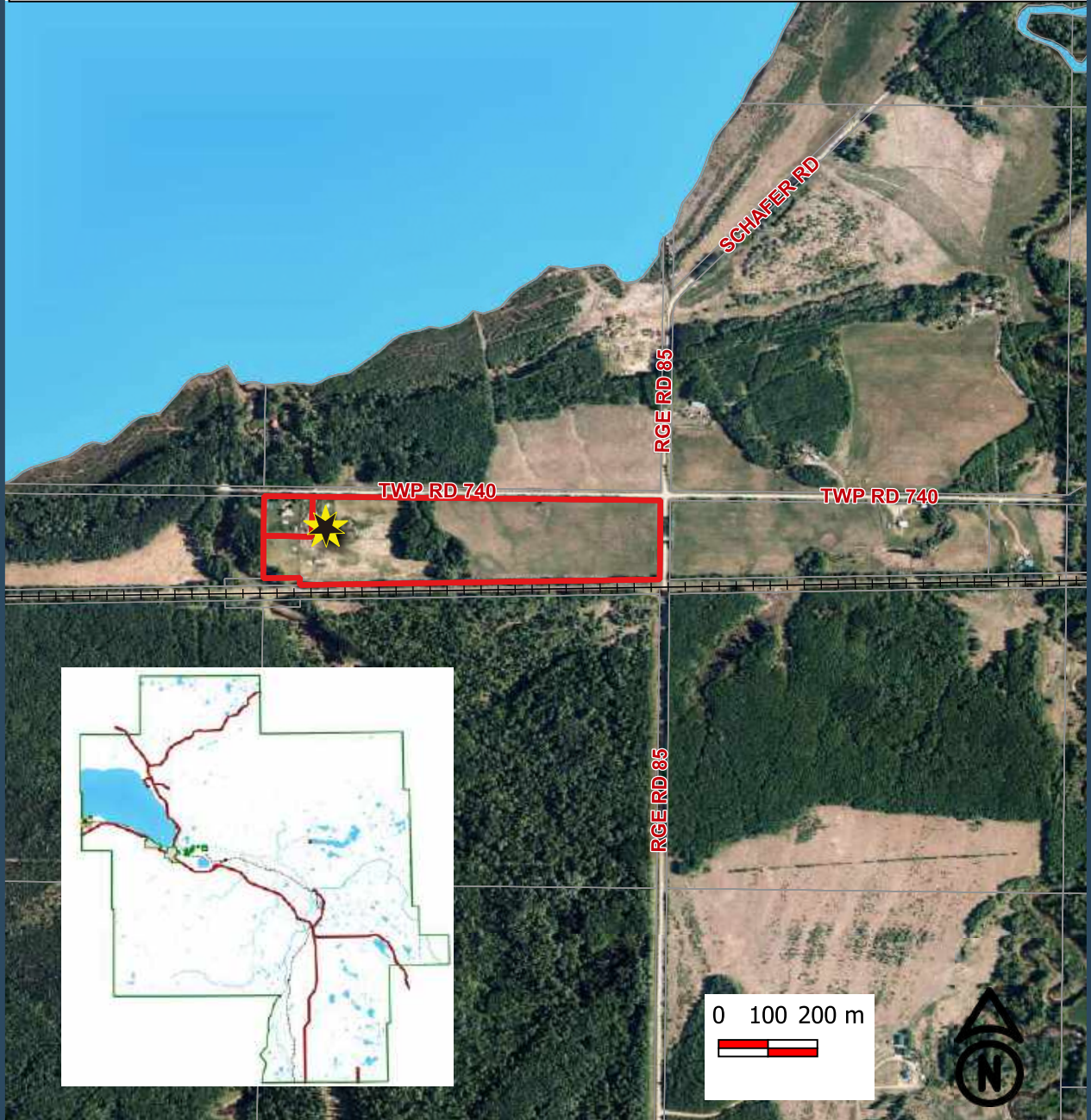
- Distances are in metres and decimals thereof.
- Offsets are rounded to the nearest 0.5m.
- Boundaries are determined using ATS V.4.1



Job No.: 2341278	Date: March 9, 2024
PC: MM - CAD: JS - CK: MM	Dwg Name: 2341278-TE
Issued	Sheet: 1 of 1 Rev: 0



Subdivision Application 24-S-01



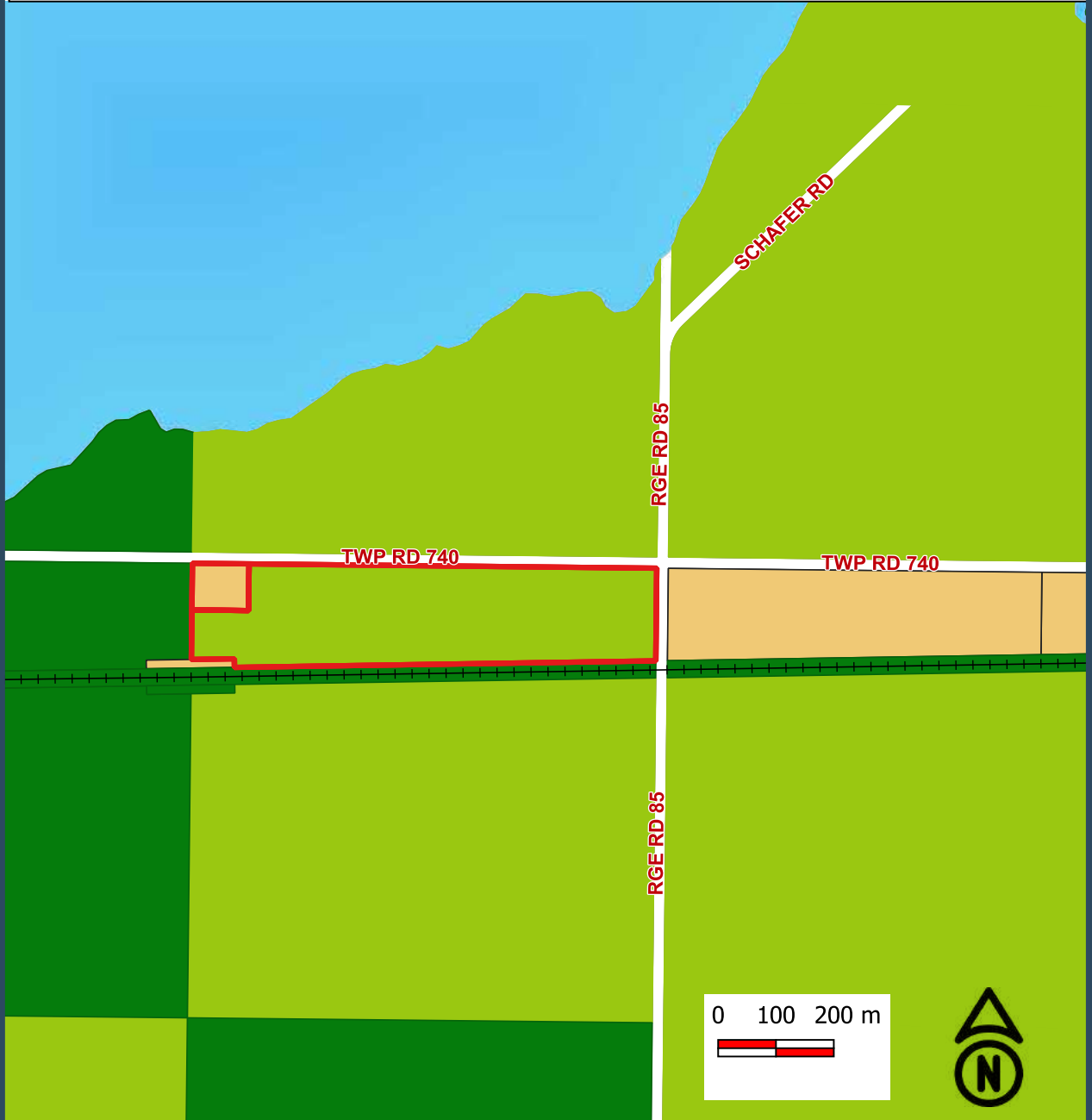
Legend

10TM NAD 83

- | | | | |
|---|------------------|---|------------------|
|  | Subject Property |  | Railway |
|  | Property Star |  | MD Boundary |
|  | Land Parcels |  | Provincial Roads |



Subdivision Application 24-S-01



Legend

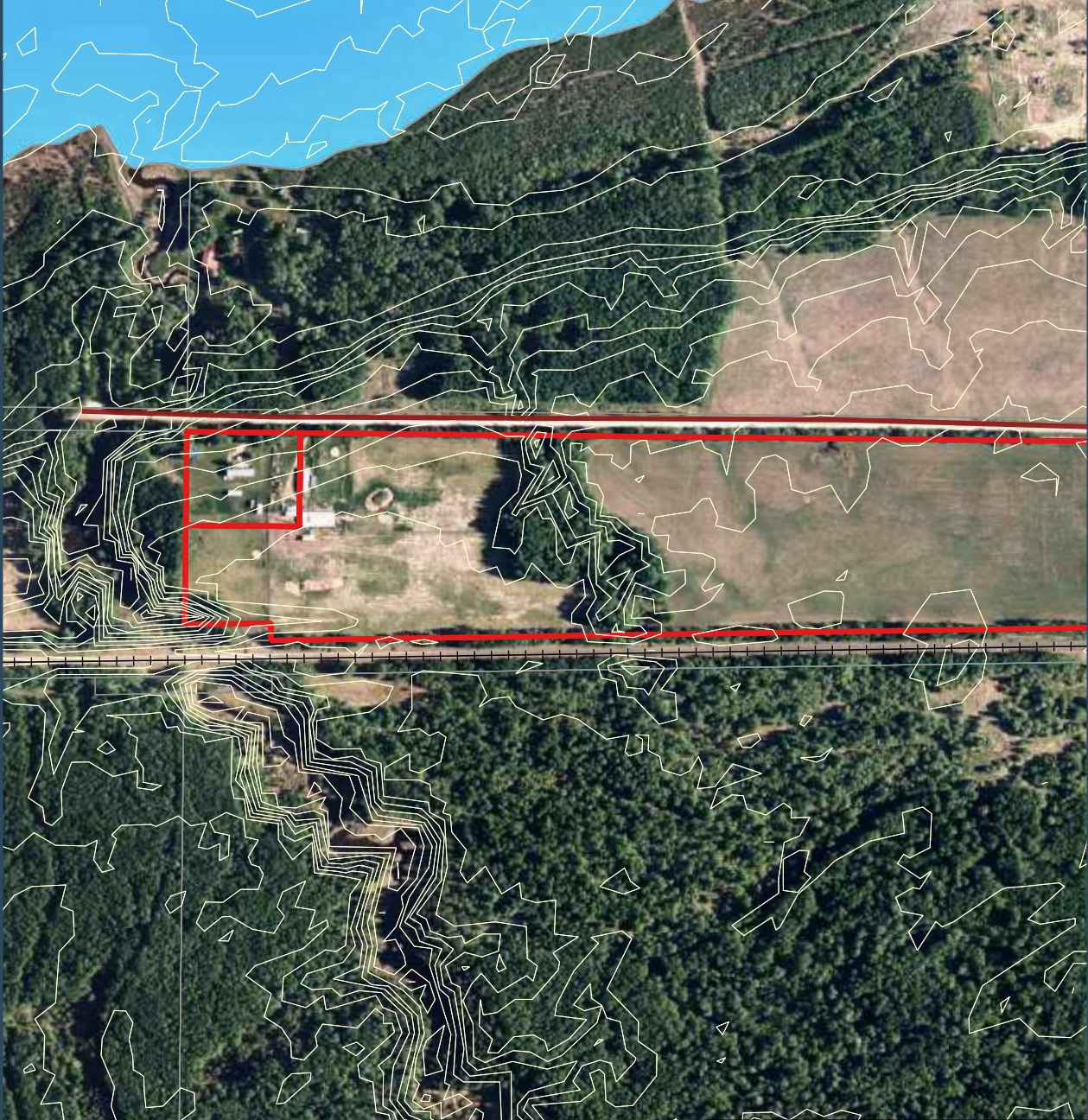
- Land Parcels
- Subject Property
- Railway

- Land Use**
- Agricultural District
 - Crown Land District
 - Residential Un-Serviced District








10TM NAD 83



Subdivision Application 24-S-01



Legend

- | | | | |
|---|------------------|---|------------------|
|  | Land Parcels |  | Provincial Roads |
|  | Contours Line |  | Municipal Roads |
|  | Subject Property |  | Private Roads |
|  | Railway | | |

0 75 150 m



10TM NAD 83
July 4, 2024



Lesser Slave River

Municipal Planning Commission

Subject:	Subdivision Application
Date:	7/16/2024
Presented By:	Samantha Dyck
Attachments:	<i>Subdivision Application, Tentative Plan, Site Photos, Maps</i>
File Number	24-S-05
Land Use District	Urban Reserve (UR)
Community:	Widewater
Legal Location	Portion of SW-27-73-7-W5M and Plan 172 2452, Block 2, Lot 1
Applicant:	Don Wilson Surveys Ltd
Landowner(s):	Karen and Leslie Emes

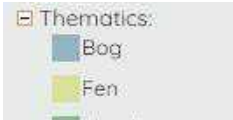
BACKGROUND:

This property was originally subdivided in 2017 to separate the residence from the property where the home-based business was run out of the shop on site. The recommendation to the MPC at that time was to allow a “squared off” subdivision so that an environmental easement could be provided for both sides of Nine Mile Creek. Since that time one of the landowners has passed away. In order to sell the property without access issues or conflicts, the remaining landowner and family have decided to do a boundary adjustment. This will include the shop and allow for an access to be constructed on the east side of the property to the municipal road.

SITE ANALYSIS:

Existing Parcel Area Lot 1	1.17 ha	2.89 ac
Existing Parcel Area SW-27	29.25 ha	72.28 ac
New Parcel Area Lot 3	+/- 3.32 ha	+/- 8.20 ac
New Parcel Area SW-27	+/- 27.10 ha	+/- 66.97 ac

Servicing Type: Septic Field
Soil type: Misc. Gleysol; poor drainage,
Topography: valley with floodplain – low relief
Wetland inventory: Intermittent Bog & Fen throughout the property





Farmland inventory: 5W(10) very severe; drainage – soils in which excess water limits the production.
Flood risk: No data available.

RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:

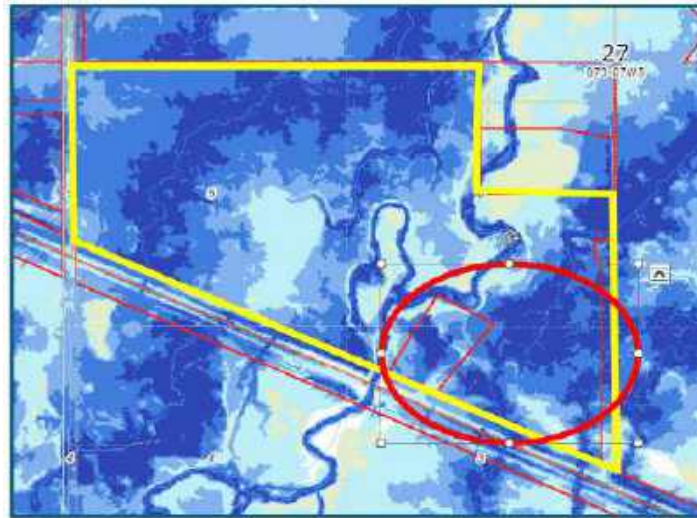
Matters Related to Subdivision and Development Regulation

Section 9 Relevant Considerations

In deciding as to whether to approve an application for subdivision, the subdivision authority must consider, with respect to the land that is the subject of the application:

- (a) its topography,*
- (b) its soil characteristics,*
- (c) storm water collection and disposal,*
- (d) any potential for the flooding, subsidence, or erosion of the land,*
- (e) its accessibility to a road,*
- (f) the availability and adequacy of a water supply, sewage disposal system and solid waste disposal,*
- (g) in the case of land not serviced by a licensed water distribution and wastewater collection system, whether the proposed subdivision boundaries, lot sizes and building sites comply with the requirements of the Private Sewage Disposal Systems Regulation (AR 229/97) in respect of lot size and distances between property lines, buildings, water sources and private sewage disposal systems as identified in section 6(4)(b) and (c),*
- (h) the use of land in the vicinity of the land that is the subject of the application, and*
- (i) any other matters that it considers necessary to determine whether the land that is the subject of the application is suitable for the purpose for which the subdivision is intended.*

When reviewing Section 9 (a) to (i) considerations there are a few items to highlight for review. As can be seen in the Hydrological Report below the area is quite wet and with the creek running through this property there is always the possibility of a flooding event. That said, with a larger property, the possibility of flooding, subsidence, or erosion is less of a concern.



This boundary adjustment includes the ability to have the access created from the municipal road to the east of the property, in the event that the province removes the highway access. The tentative plan area meets the requirements of Alberta Transportation setbacks to allow the access to be built on the northern portion of the panhandle.

Section 10 Reasons for Decision

The written decision of a subdivision authority provided under section 656 of the Act must include the reasons for decision, including an indication of how the subdivision authority has considered (a) any submissions made to it by the adjacent landowners, (b) the matters listed in section 9.

Sections 11 through 20 of the Matters Related to Subdivision and Development Regulation are satisfied.

Municipal Development Plan

Section 2.1.1

Development in the Community Areas shall be predominantly residential in nature, with commercial, institutional, and light industrial development in appropriate locations which do not interfere with or conflict with the predominant residential land use.

This property is within the Community Area designation of the MDP and is located in an area that is primarily residential. However, this property is adjacent to HWY 2 and is currently buffered from adjacent properties by trees and shrubs.

Section 2.1.3

Developments on the fringes of Community Areas shall be carefully regulated by the MD so that the natural amenities of the Community Area are not negatively affected. To that end, the MD shall not normally approve of discretionary developments and Council shall not normally approve of Land Use Amendments in the areas close to Community Areas unless it can be demonstrated that the proposed developments or subdivisions will not have a negative impact on the Community Area.

This property is going through the Land Use amendment process currently to change from Urban Reserve to Light Industrial. The boundary adjustment is needed to allow the property owner to sell the

home and the shop together, in addition to providing an alternative access point from the east municipal road.

The requirement for ER to be taken is not applicable in a Boundary Adjustment. Additionally, there is an ER easement along both sides of the creek.

Land Use Bylaw

Section 7.6.1

Purpose: to accommodate a range of light industrial uses that are dispersed across the MD, along with owner-operator residences in appropriate areas. This district would be located in areas that can access roads designed to accommodate heavy trucks and equipment traffic on a year-round basis.

This application follows the requirements and purpose of the Light Industrial District.

11.2 Subdivision Application Decisions

11.12.1 *The Subdivision Authority for the MD must receive, consider, and make decisions on all subdivision applications.*

11.12.2 *The Subdivision Authority shall assess subdivision applications based on Section 653.1 of the MGA and the regulations in this Bylaw.*

11.12.3 *In making a decision, the Subdivision Authority may:*

a) approve an application with conditions;

b) refuse the application; or

c) if the applicant fails to submit all the outstanding information and documents on or before the date referred in notification to the applicant of an incomplete application, the application is deemed to be refused.

11.12.4 *No subdivision application shall be permitted within a floodplain where the area cannot accommodate for a dwelling and its supporting water and wastewater services.*

11.12.5 *If the Subdivision Authority refuses an application as outlined in subsection 11.12.3, reasons for the Subdivision Authority's decision must be provided in writing.*

11.12.6 *The Subdivision Authority may impose conditions considered appropriate for the development and as provided for in the MGA, the Regulation or in this Bylaw on a subdivision approval.*

11.12.7 *A subdivision application that creates a new lot or boundary adjustment where an existing dwelling or other activity that requires on-site servicing shall not be approved unless the Subdivision Authority is satisfied that it can be demonstrated that sanitary servicing can be adequately provided on-site.*

11.12.8 *A subdivision application that creates a new lot or boundary adjustment where an existing dwelling or other activity requires on site water supplies of sufficient quality and quantity are available to support the existing and proposed future development on the new lot.*

11.12.9 *A subdivision application shall not be approved unless the Subdivision Authority is satisfied with the management of stormwater and can meet the MD's Municipal Servicing Standards.*

11.12.10 *At the discretion of the Subdivision Authority, the provision of a water reservoir, dugout or other similar facility may be required in a residential development of more than three (3) lots for the purpose of firefighting protection.*

11.12.11 *New subdivision(s) shall not be permitted on land that is within the regulated setback areas for wastewater, sewage lagoon, or sour gas facilities where a dwelling, school, hospital, or food establishment could not be developed on the lot because of the setback regulation, unless a caveat is registered against the title prohibiting these uses.*

11.12.12 *For the purpose of this Bylaw, an unsubdivided quarter section includes quarter sections where a portion of the land has been subdivided for a public utility, a railroad, or a community use (such*

as a ski field or protection of a creek), and a separate title exists.

11.12.13 Development agreements and road use agreements may be required as a condition of approval for subdivision of land within the MD.

This application complies with the Land Use Bylaw 2021-17 and the uses listed therein, as well as requirements for subdivision.

BENEFIT/RISKS:

Approving this boundary adjustment allows for the development of an access from the municipal road to the east of the property when the province requires that highway access be removed. Additionally, it allows for the property to be sold to someone who can utilize the property for a live-work site.

FINANCIAL IMPLICATION:

There is little to no financial implication for the MDLSR.

PUBLIC ENGAGEMENT LEVEL/REFERRALS:

Adjacent Landowners only one response to letters sent on April 15, 2024, with no concerns.

Alberta Energy Regular No comments received.

Alberta Environment No comments received.

Alberta Environment Industrial & Reclamation Approvals No comments received.

Alberta Forestry & Parks - Lands Operation Division No comments received.

Alberta Power Ltd. No comments received.

Alta Link Management Ltd No comments received.

Alberta Transportation and Economic Corridors Had this to say:

1. The requirements Section 18 of the Regulation are not met.
 - The department anticipates minimal impact on the highway from this proposal. Pursuant to Section 20(1) of the Regulation, Transportation and Economic Corridors grants approval for the subdivision authority to vary the requirements of Section 18 of the Regulation.
2. The requirements Section 19 of the Regulation are not met.
 - there is sufficient local road access to the subdivision and adjacent lands. Pursuant to Section 20(1) of the Regulation, Transportation and Economic Corridors grants approval for the subdivision authority to vary the requirements of Section 19 of the Regulation.
3. Additional Comments:
 - The department expects that the municipality will mitigate the impacts of traffic generated by developments approved on the local road connections to the highway system, pursuant to Policy 7 of the Provincial Land Use Policies and Section 618.4 of the Municipal Government Act.

ATCO Electric No comments received.

ATCO Gas No comments received.

Federal Department of Fisheries & Oceans No comments received.

Firehall - Slave Lake No comments received.

High Prairie School Division #48 No comments received.

Living Waters Catholic School Division #42 No comments received.

MD Field Services – Transportation No concerns.

MD Field Services – Utilities No concerns.

Sawridge First Nation No comments received.

Slave Lake Public Health Inspector – AHS No comments received.

Telus Communications No comments received.

RECOMMENDED MOTION:

That the Municipal Planning Commission **APPROVE** Subdivision Application 24-S-05 for a Boundary Adjustment with the following conditions:

1. That prior to the endorsement the registered owner and/or developer enter into and comply with the terms and conditions of a development agreement with the Municipal District of Lesser Slave River pursuant to Section 655 of the Municipal Government Act, which the development agreement may be registered by way of caveat against the subject title. This Development Agreement may include provisions for electricity, gas, and access approaches to the appropriate lots.
2. Prior to endorsement of this plan, approaches to both parcels shall be constructed at the owner's and/or developer's expense and to the specifications and satisfaction of the Municipal District of Lesser Slave River No. 124 Transportation Department.
3. Pursuant to the Subdivision and Development Regulation, the applicant confirms that the existing sewage disposal system is in compliance with the Alberta Private Sewage Systems Standard of Practice 2021 and amendments thereto. Should the existing system not be in compliance a new or modified system must be installed.
4. That the proposed Land Use Amendment from Urban Reserve (UR) to Light Industrial District (LI) District of Lot 1 which is 3.32 ha (8.20ac) receives third reading prior to endorsement.
5. That taxes are fully paid when final approval (endorsement) of the instrument effecting the subdivision is requested.
6. This conditional subdivision approval is valid for one year. If the developer cannot complete the conditions in this time frame, the developer shall apply for a subdivision time extension.

Notes: (These are not conditions of approval)

The subdivision is being approved because the land that is proposed to be subdivided is, in the opinion of the Subdivision Authority, suitable for the purpose for which the subdivision is intended, and the proposal is considered by the Subdivision Authority to conform with the provisions of the Municipality's Development Plan, and Land Use Bylaw. The matters listed in Section 9 through 20 of the Matters Related to Subdivision and Development Regulation and any submission made by adjacent property owners were considered with care.

The following information is provided as required by Section 656(2)(a) of the Municipal Government Act. Any appeal of this decision lies to the Land and Property Rights Tribunal pursuant to section 678(2) of the Act.

Please note your next step is to contact an Alberta Land Surveyor and obtain your survey so we may proceed with the Development Agreement.

ALTERNATIVE MOTION:

- 1. That the Municipal Planning Commission REFUSE Subdivision Application for a Boundary Adjustment for the following reasons:**
 - a) (the MPC must provide a reason for refusal.)

- 2. That the Municipal Planning Commission APPROVE Subdivision Application for a Boundary Adjustment with the previously listed conditions AND:**
 - a) **An additional access must be created from the municipal road to the east of the property and the highway access removed.**

Prepared By: Samantha Dyck, Planning & Development Officer

Reviewed By: Ann Holden, Planning & Development Officer

Approved By: Rudolf Liebenberg, Director Planning, Utilities, & Protective Services

**Site Inspection – Subdivision Application 24-S-05
Boundary Adjustment SW-27-73-7-W5M**



View of the residential parking area to the east.



View of the detached garage on the residential site.



View of the yard to the south of the residence.



View of the yard south of the detached garage.



Entrance to the Industrial portion of the site.



View of the industrial yard to the west of the



View of the parking area of the Industrial



View of the rear portion of the lot from the access road to the east of the proposed



View of the wooded portion on the east side of the



View of the lot from the access road where the lot will be accessed from in the

Don Wilson Surveys Ltd.

Don Wilson, A.L.S.

Box 4120
Barrhead, AB T7N 1A1

Telephone (780)674-2287
Fax (780)674-5071

Your File:

Our File: 24060

20 March 2024

MD of Lesser Slave River No. 124
Box 722
Slave Lake, AB
T0G 2A0

Re: Application for Subdivision in,
Pt. S.W. ¼ Sec. 27 – Twp. 73 – Rge. 7 – W5M,

- Enclosed please find:
- a) One Application for subdivision including copy signed by registered Landowner,
 - b) One copy of the tentative plan and one copy of the tentative plan with an air photo underlaid,
 - c) One cheque (#2260) from Don Wilson Surveys Ltd. in the amount of \$450.00 for the application fee,
 - d) One copy of Certificate of Title,
 - e) ERCB information,

Please note Scott Emes, Karen Emes's son would like to be contacted/notified if an Authorized Person of the MD of Lesser Slave River No. 124 is conducting a Site inspection of the land affected by the proposed subdivision application. Scott Emes Contact # 780-849-0413 which is on the application for ease of reference as well.

I trust this is what you require.

Yours truly,



For Don Wilson, A.L.S.
Nate Wilson



**Lesser Slave River
Planning & Development**

SUBDIVISION APPLICATION

This form is to be completed in full wherever applicable by the registered owner of the land that is subject of the application or by a person authorized to act on the registered owner's behalf.

Application No.:

Farms Received:

APPLICANT NAME *(Authorized person acting on registered owner's behalf):*
 [REDACTED]

POSTAL ADDRESS: [REDACTED] **POSTAL CODE:** [REDACTED]

HOME NUMBER: [REDACTED] **CELL NUMBER:** [REDACTED] **E-MAIL ADDRESS:** [REDACTED]

Complete if different from applicant:

REGISTERED LANDOWNER NAME:
 [REDACTED]

POSTAL ADDRESS: [REDACTED] **POSTAL CODE:** [REDACTED]

HOME NUMBER: [REDACTED] **CELL NUMBER:** [REDACTED] **E-MAIL ADDRESS:** [REDACTED]

LEGAL LAND LOCATION *(All or part of the following land to be subdivided):* AND

Pt. SW	27	73	7	5	QR 1	2	172-2452
Quarter	Section	Township	Range	Meridian	Lot	Block	Plan.

TOTAL NUMBER OF: **MUNICIPAL ADDRESS** *(If applicable):*

7.29	OR	2.95	72062 HWY 2
Acres		Hectares	

Is The Land Situated Immediately Adjacent to the Municipal Boundary? Yes No

If yes, municipality name: [REDACTED]

Is The Land Situated Within 0.8 Kilometres of the Right of Way of a Highway? Yes No

If yes, Highway #: Highway 2

Does The Proposed Parcel Contain or is it Bounded By A River, Stream, Lake or Other Body of Water or by a Drainage Ditch or Canal? Yes No

If yes, name: Unnamed Creek

Is the Proposed Parcel Within 1.5 km of a Sour Gas Facility? Yes No

If yes, name: [REDACTED]

Page 1 of 4
H-0302 (07/12)

MUNICIPAL DISTRICT OF LESSER SLAVE RIVER no.124 | BOX 722, SLAVE LAKE, AB T0G 2A0 | Tel: 780.849.4888 | Toll Free: 1.866.449.4888 | Fax: 780.849.4938



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | SECTION 2

Application No.:

EXISTING USE AND PROPOSED USE OF LAND TO BE SUBDIVIDED:

Describe the Existing Use of the Land:

Urban Reserve District (UR)

Describe the Proposed Use of the Land:

Light Industrial District (LI)

What is the designated Use of the Land as Classified Under a Land Use Bylaw:

Urban Reserve District (UR)

PHYSICAL CHARACTERISTICS OF LAND TO BE SUBDIVIDED:

Describe the Nature of the Topography of the Land (Flat, Rolling, Steep, Mixed):

Mixed

Describe the Nature of the Vegetation and Water on the Land (Brush, Shrubs, Tree Stands, Woodlots, Sloughs, Creeks, etc.):

Brush, Shrubs, Tree Stands, Woodlots

Describe the Type of Soil on the Land (Sandy, Loam, Clay, etc.):

Gray Wooded

EXISTING BUILDINGS ON LAND TO BE SUBDIVIDED:

Describe any Buildings, Historical or Otherwise, and any Structures on the Land and Whether they are to be Demolished or Moved.

House, Garage, Car Port, Shop Greenhouse, Root Cellar, 4 Portable Sheds, 3 Seacans

WATER AND SEWER SERVICES:

If the proposed subdivision is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal:

Septic Tank, Holding Tank, Municipal Water System

I, [Redacted], HEREBY CERTIFY THAT I AM THE REGISTERED OWNER OR AM AUTHORIZED TO ACT ON BEHALF OF THE REGISTERED OWNER AND THAT THE INFORMATION GIVEN ON THIS FORM IS FULL AND COMPLETE AND IS, TO THE BEST OF MY KNOWLEDGE, A TRUE STATEMENT OF THE FACTS RELATING TO HIS/HER APPLICATION FOR SUBDIVISION APPROVAL.

NOTE: Registered Owner's signature is required if different from applicant.

[Redacted Signature] _____ Date: March 20, 2024

Please See Attached Signed Form
[Redacted Signature] _____ Date: _____



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | SECTION 2

Application No:

EXISTING USE AND PROPOSED USE OF LAND TO BE SUBDIVIDED:

Describe the Existing Use of the Land:
Urban Reserve District (UR)

Describe the Proposed Use of the Land:
Light Industrial District (LI)

What is the designated Use of the Land as Classified Under a Land Use Bylaw:
Urban Reserve District (UR)

PHYSICAL CHARACTERISTICS OF LAND TO BE SUBDIVIDED:

Describe the Nature of the Topography of the Land (Flat, Rolling, Steep, Mixed):
Mixed

Describe the Nature of the Vegetation and Water on the Land (Brush, Shrubs, Tree Stands, Woodlots, Sloughs, Creeks, etc.):
Brush, Shrubs, Tree Stands, Woodlots

Describe the Type of Soil on the Land (Sandy, Loam, Clay, etc.):
Gray Wooded

EXISTING BUILDINGS ON LAND TO BE SUBDIVIDED:

Describe any Buildings, Historical or Otherwise, and any Structures on the Land and Whether they are to be Demolished or Moved.
House, Garage, Car Port, Shop, Greenhouse, Root Cellar, 4 Portable Sheds, 3 Seacans

WATER AND SEWER SERVICES:

If the proposed subdivision is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal:
Septic Tank, Holding Tank, Municipal Water System

I, Nate Wilson For: Don Wilson Surveys HEREBY CERTIFY THAT I AM THE REGISTERED OWNER OR AM AUTHORIZED TO ACT ON BEHALF OF THE REGISTERED OWNER AND THAT THE INFORMATION GIVEN ON THIS FORM IS FULL AND COMPLETE AND IS, TO THE BEST OF MY KNOWLEDGE, A TRUE STATEMENT OF THE FACTS RELATING TO HIGHWAY APPLICATION FOR SUBDIVISION APPROVAL. *(If the registered owner is not the applicant, please provide the name of the registered owner and the name of the applicant, if different from applicant.)*

[Redacted Signature]
Signature of Applicant

[Redacted Signature]
Signature of Registered Landowner

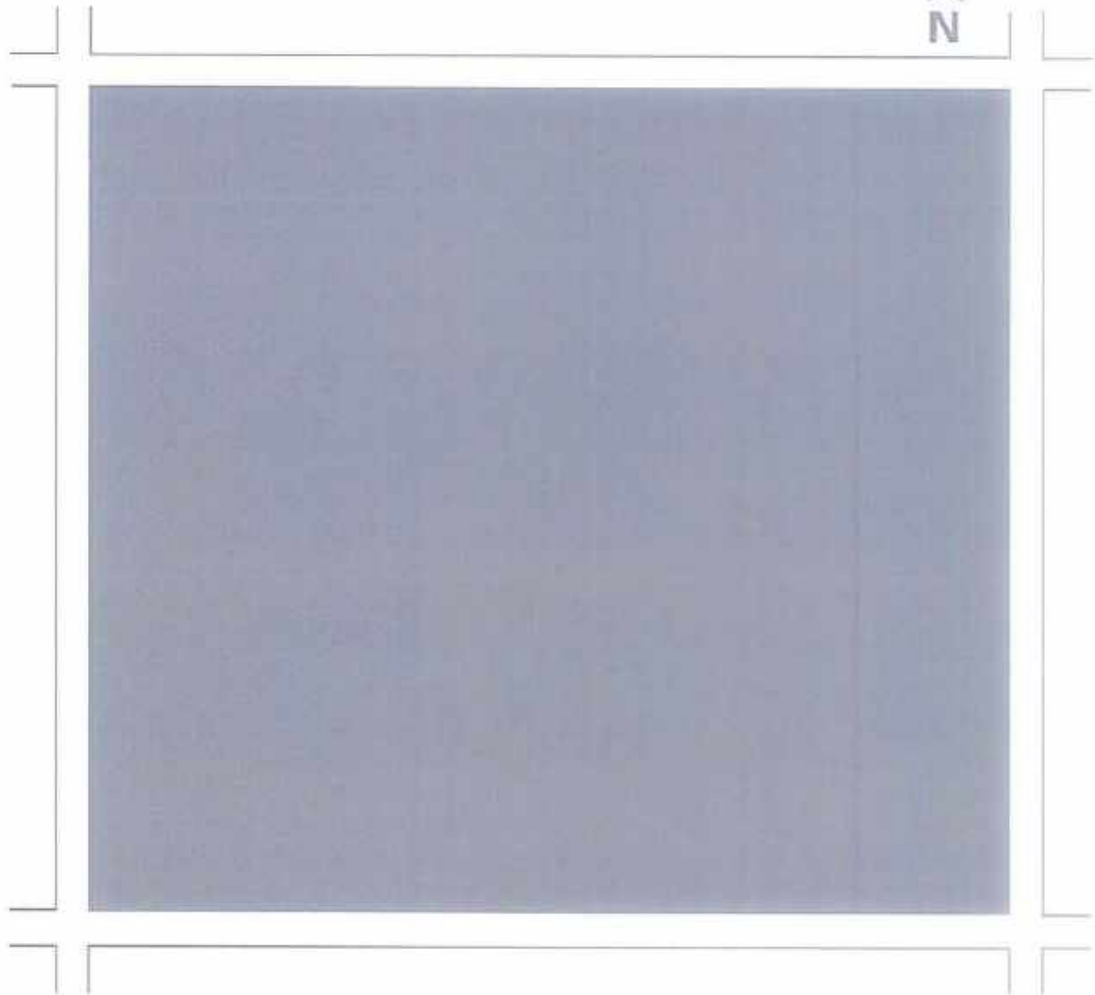
March 20, 2024
Date

Mar 20, 2024
Date



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | SITE PLAN



Note: The location sketch must be completed. Please indicate the following items on the sketch: access/approaches, set backs, water bodies, right of ways. Should the space provided be insufficient when answering any of the above questions, please attach a list of additional information.

LEGAL LAND DESCRIPTION:

Pt. SW	27	73	7	5	OR	1	2	1722452
Quarter	Section	Township	Range	Meridian		Lot	Block	Plan

Signature of Applicant: _____ Date: March 20, 2024

Page 3 of 4
H-0002 (07/12)

MUNICIPAL DISTRICT #1 LESSER SLAVE RIVER #124 | BOX 722, SLAVE LAKE, AB T0G 2A0 | Tel: 780.349.4888 | Toll-Free: 1.866.449.4888 | Fax: 780.349.4839



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | RIGHT OF ENTRY

Please complete the following right-of-entry form and include it with your Development Permit Application.

Right of Entry for an Authorized Person of the Municipal District of Lesser Slave River No. 124 for the Purposes of a Site Inspection of the Land Affected by the Proposed Subdivision Application.

- I DO
- I DO NOT

give consent for an authorized person of the Municipal District of Lesser Slave River No. 124 to enter upon the land that is subject to the application for the purposes of making a site inspection in order to evaluate the proposed application and monitor its compliance.

LAND LOCATION:

Pt. SW	27	73	7	5	OR 1	2	1722452
Quarter	Section	Township	Range	Meridian	Lot	Block	Plan

[Redacted Signature]

[Redacted Signature]

Signature of Applicant

March 20, 2024

Date



Abandoned Well Map	Base Data provided by: Government of Alberta		
	Author: XXX	Printing Date: 3/14/2024	
Legend <ul style="list-style-type: none"> ◊ Abandoned Well (Large Scale) ○ Revised Well Location (Large Scale) — Revised Location Pointer Paved Road (20K) — Primary Divided — Primary Undivided 4L — Primary Undivided 2L — Primary Undivided 1L — Interchange Ramp — Secondary Divided — Secondary Undivided 4L 	Date Date (if applicable)		
	<p>The Alberta Energy Regulator (AER) has not verified and makes no representation or warranty as to the accuracy, completeness, or reliability of any information or data in this document or that it will be suitable for any particular purpose or use. The AER is not responsible for any inaccuracies, errors or omissions in the information or data and is not liable for any direct or indirect losses arising out of any use of this information. For additional information about the limitations and restrictions applicable to this document, please refer to the AER Copyright & Disclaimer webpage: http://www.aer.ca/copyright-disclaimer.</p>		Scale: 8,027.58 0 100 Meters 0
	Projection and Datum: WGS84 Web Mercator Auxiliary Sphere		



LAND TITLE CERTIFICATE

S
 LINC SHORT LEGAL TITLE NUMBER
 0037 657 582 1722452;2;1 172 214 618

LEGAL DESCRIPTION
 PLAN 1722452
 BLOCK 2
 LOT 1
 EXCEPTING THEREOUT ALL MINES AND MINERALS
 AREA: 1.17 HECTARES (2.89 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
 ATS REFERENCE: 5;7;73;27;SW

MUNICIPALITY: MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124

REFERENCE NUMBER: 792 081 291

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
172 214 618	17/08/2017	SUBDIVISION PLAN		

OWNERS
 KAREN GAIL EMES (HOUSEWIFE)
 AND
 LESLIE ARTHUR ERIC EMES (CONTRACTOR)
 BOTH OF:
 WIDENWATER
 ALBERTA
 AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS		
REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
812 272 722	17/11/1981	UTILITY RIGHT OF WAY GRANTEE - SWAN RIVER NATURAL GAS CO-OP LTD.
952 247 072	18/09/1995	EASEMENT

(CONTINUED)

 ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
 # 172 214 618

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
		"OVER PART OF LOT 1 PLAN 9523361"
952 247 073	18/09/1995	EASEMENT "FOR THE BENEFIT OF LOTS 1 AND 2 PLAN 9523361"
032 043 451	03/02/2003	MORTGAGE MORTGAGEE - THE BANK OF NOVA SCOTIA. 100 MAIN ST SW BOX 728, 28 SAWRIDGE PLAZA SLAVE ALBERTA T0G2A0 ORIGINAL PRINCIPAL AMOUNT: \$186,000
172 214 608	17/08/2017	UTILITY RIGHT OF WAY GRANTEE - THE MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124.
172 214 626	17/08/2017	CAVEAT RE : ENVIRONMENTAL RESERVE EASEMENT CAVEATOR - THE MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124. ATTENTION: CHIEF ADMINISTRATIVE OFFICER BOX 722, 3000 - 15 AVENUE SE SLAVE LAKE ALBERTA T0G2A0
172 214 629	17/08/2017	CAVEAT RE : ROADWAY CAVEATOR - HER MAJESTY THE QUEEN IN RIGHT OF ALBERTA AS REPRESENTED BY MINISTER OF TRANSPORTATION 2ND FLOOR, TWIN ATRIA BUILDING 4999 - 98 AVENUE NW EDMONTON ALBERTA T6E2X3
192 153 923	04/07/2019	CAVEAT RE : AGREEMENT CHARGING LAND CAVEATOR - HER MAJESTY THE QUEEN IN RIGHT OF ALBERTA AS REPRESENTED BY MINISTER OF SENIORS AND HOUSING C/O THE OFFICE OF THE SENIORS PROPERTY TAX DEFERRAL PROGRAM P.O. BOX 1200 STN MAIN EDMONTON ALBERTA T5J2M4 AGENT - GWEN DE LEON
212 184 285	27/08/2021	CAVEAT RE : AGREEMENT CHARGING LAND

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 3
172 214 618

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

CAVEATOR - HER MAJESTY THE QUEEN IN RIGHT OF
ALBERTA
AS REPRESENTED BY MINISTER OF SENIORS AND HOUSING
C/O OFFICE OF THE SENIORS PROPERTY TAX DEFERRAL
PROGRAM
PO BOX 1200, STN MAIN
EDMONTON
ALBERTA T5J2M4
AGENT - LERRAN KUCHERAWAY

222 238 646 22/10/2022 CAVEAT
RE : AGREEMENT CHARGING LAND
CAVEATOR - HER MAJESTY THE QUEEN IN RIGHT OF
ALBERTA
AS REPRESENTED BY MINISTER OF SENIORS AND HOUSING
OFFICE OF THE SENIORS PROPERTY TAX DEFERRAL
PROGRAM
PO BOX 1200, STN MAIN
EDMONTON
ALBERTA T5J2M4
AGENT - LORI ANTONIO

TOTAL INSTRUMENTS: 010

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 7 DAY OF MARCH,
2024 AT 08:23 A.M.

ORDER NUMBER: 49915232
CUSTOMER FILE NUMBER: 24060



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S
 LINC SHORT LEGAL TITLE NUMBER
 0038 478 947 5:7:73;27:SW 192 266 869

LEGAL DESCRIPTION

MERIDIAN 5 RANGE 7 TOWNSHIP 73
 SECTION 27

QUARTER SOUTH WEST

CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS

EXCEPTING THEREOUT: HECTARES (ACRES) MORE OR LESS

- A) ALL THAT PORTION COMMENCING AT THE NORTH WEST CORNER OF THE SAID QUARTER SECTION; THENCE EASTERLY ALONG THE NORTH BOUNDARY THEREOF TO THE NORTH EAST CORNER OF THE SAID QUARTER SECTION; THENCE SOUTHERLY ALONG THE EAST BOUNDARY OF THE SAID QUARTER SECTION 660 FEET; THENCE WESTERLY AND PARALLEL TO THE SAID NORTH BOUNDARY 660 FEET; THENCE NORTHERLY AND PARALLEL TO THE SAID EAST BOUNDARY 627 FEET; THENCE WESTERLY AND PARALLEL TO THE SAID NORTH BOUNDARY TO A POINT ON THE WEST BOUNDARY OF THE SAID QUARTER SECTION; THENCE NORTHERLY ALONG THE SAID WEST BOUNDARY TO THE POINT OF COMMENCEMENT CONTAINING 4.65 11.50
- B) PLAN 4641LZ - ROAD 5.36 13.24
- C) ALL THAT PORTION OF THE SAID QUARTER SECTION WHICH LIES TO THE SOUTH OF THE ROAD AS SHOWN ON ROAD PLAN 4641LZ CONTAINING 23.40 57.80
- D) PLAN 1722452 - SUBDIVISION 1.17 2.89
- E) PLAN 1923141 - ROAD 0.725 1.79

EXCEPTING THEREOUT ALL MINES AND MINERALS AND THE RIGHT TO WORK THE SAME

ESTATE: FEE SIMPLE

MUNICIPALITY: MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124

REFERENCE NUMBER: 172 214 618 +1

 REGISTERED OWNER(S)
 REGISTRATION DATE(DMY) DOCUMENT TYPE VALUE CONSIDERATION

192 266 869 04/11/2019 ROAD PLAN

OWNERS

KAREN GAIL EMES (HOUSEWIFE)

(CONTINUED)

AND
LESLIE ARTHUR ERIC EMES (CONTRACTOR)
BOTH OF:
WIDEWATER
ALBERTA
AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
812 272 722	17/11/1981	UTILITY RIGHT OF WAY GRANTEE - SWAN RIVER NATURAL GAS CO-OP LTD.
952 247 072	18/09/1995	EASEMENT "OVER PART OF LOT 1 PLAN 9523361"
952 247 073	18/09/1995	EASEMENT "FOR THE BENEFIT OF LOTS 1 AND 2 PLAN 9523361"
032 043 451	03/02/2003	MORTGAGE MORTGAGEE - THE BANK OF NOVA SCOTIA. 100 MAIN ST SW BOX 728, 28 SAWRIDGE PLAZA SLAVE ALBERTA T0G2A0 ORIGINAL PRINCIPAL AMOUNT: \$186,000
172 214 608	17/08/2017	UTILITY RIGHT OF WAY GRANTEE - THE MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124.
172 214 626	17/08/2017	CAVEAT RE : ENVIRONMENTAL RESERVE EASEMENT CAVEATOR - THE MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124. ATTENTION: CHIEF ADMINISTRATIVE OFFICER BOX 722, 3000 - 15 AVENUE SE SLAVE LAKE ALBERTA T0G2A0
172 214 629	17/08/2017	CAVEAT RE : ROADWAY CAVEATOR - HER MAJESTY THE QUEEN IN RIGHT OF ALBERTA AS REPRESENTED BY MINISTER OF TRANSPORTATION 2ND FLOOR, TWIN ATRIA BUILDING 4999 - 98 AVENUE NW EDMONTON ALBERTA T6B2X3

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 3
192 266 869

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
---------------------	--------------	-------------

192 266 868	04/11/2019	CAVEAT RE : ACQUISITION OF LAND CAVEATOR - THE MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124. P.O.BOX 722 SLAVE LAKE ALBERTA T0G2A0 AGENT - ALLAN WIPARSKI
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TOTAL INSTRUMENTS: 008

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 7 DAY OF MARCH, 2024 AT 08:23 A.M.

ORDER NUMBER: 49915232

CUSTOMER FILE NUMBER: 24060



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION

Application No.:

This form is to be completed in full wherever applicable by the registered owner of the land that is subject of the application or by a person authorized to act on the registered owner's behalf.

Form Received:

APPLICANT NAME *(Authorized person acting on registered owner's behalf):*

POSTAL ADDRESS: **POSTAL CODE:**

HOME NUMBER: **CELL NUMBER:** **E-MAIL ADDRESS:**

Complete if different from applicant:

REGISTERED LANDOWNER NAME:

POSTAL ADDRESS: **POSTAL CODE:**

HOME NUMBER: **CELL NUMBER:** **E-MAIL ADDRESS:**

LEGAL LAND LOCATION *(All or part of the following land to be subdivided):*

NW 24 69 25 4 OR

Quarter Section Township Range Meridian Lot Block Plan

TOTAL NUMBER OF: **MUNICIPAL ADDRESS** *(if applicable):*
 49.8 OR 20.1

Acre Hectares

Is The Land Situated Immediately Adjacent to the Municipal Boundary? Yes No

If yes, municipality name:

Is The Land Situated Within 0.8 Kilometres of the Right of Way of a Highway? Yes No

If yes, Highway #: HWY 2

Does The Proposed Parcel Contain or is it Bounded By A River, Stream, Lake or Other Body of Water or by a Drainage Ditch or Canal? Yes No

If yes, name: Lawrence Lake

Is the Proposed Parcel Within 1.5 km of a Sour Gas Facility? Yes No

If yes, name:



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | SECTION 2

Application No.:

EXISTING USE AND PROPOSED USE OF LAND TO BE SUBDIVIDED:

Describe the Existing Use of the Land:
Vacant land

Describe the Proposed Use of the Land:
Residential subdivision - 25 residential lots, reserve lot(s), and remainder

What is the designated Use of the Land as Classified Under a Land Use Bylaw:
Residential Un-Serviced

PHYSICAL CHARACTERISTICS OF LAND TO BE SUBDIVIDED:

Describe the Nature of the Topography of the Land (Flat, Rolling, Steep, Mixed):
Predominantly level with gradual sloping

Describe the Nature of the Vegetation and Water on the Land (Brush, Shrubs, Tree Stands, Woodlots, Sloughs, Creeks, etc.):
Trees and shrubs

Describe the Type of Soil on the Land (Sandy, Loam, Clay, etc.):
Silty Clay

EXISTING BUILDINGS ON LAND TO BE SUBDIVIDED:

Describe any Buildings, Historical or Otherwise, and any Structures on the Land and Whether they are to be Demolished or Moved.
There are no buildings or structures on the land

WATER AND SEWER SERVICES:

If the proposed subdivision is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal:
Private wastewater conforming to current Alberta Private Sewage System Standard of Practice (i.e. holding tanks and fields)/truckfill

I, _____ HEREBY CERTIFY THAT I AM THE REGISTERED OWNER OR AM AUTHORIZED TO ACT ON BEHALF OF THE REGISTERED OWNER AND THAT THE INFORMATION GIVEN ON THIS FORM IS FULL AND COMPLETE AND IS, TO THE BEST OF MY KNOWLEDGE, A TRUE STATEMENT OF THE FACTS RELATING TO HIS/HER APPLICATION FOR SUBDIVISION APPROVAL.

Signature of Applicant: _____

March 28, 2024
Date

Signature of Registered Landowner: _____

March 28, 2024
Date



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | SITE PLAN



A large, empty rectangular box intended for a site plan sketch, framed by a double-line border.

Note: The location sketch must be completed. Please indicate the following items on the sketch: **access/approaches, set backs, water bodies, right of ways.** Should the space provided be insufficient when answering any of the above questions, please attach a list of additional information.

LEGAL LAND DESCRIPTION:

NW	24	89	25	4	OR			
Quarter	Section	Township	Range	Meridian	Lot	Block	Plan	

Signature of Applicant: *[Handwritten Signature]* Date: March 28, 2024



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | RIGHT OF ENTRY

Please complete the following right-of-entry form and include it with your Development Permit Application.

Right of Entry for an Authorized Person of the Municipal District of Lesser Slave River No. 124 for the Purposes of a Site Inspection of the Land Affected by the Proposed Subdivision Application.

I DO

I DO NOT

give consent for an authorized person of the **Municipal District of Lesser Slave River No. 124** to enter upon the land that is subject to the application for the purposes of making a site inspection in order to evaluate the proposed application and monitor its compliance.

LAND LOCATION:

NW	24	69	25	4	OR			
Quarter	Section	Township	Range	Meridian		Lot	Block	Plan

Applicant Name (please print) _____

March 28, 2024

Signature of Applicant: _____

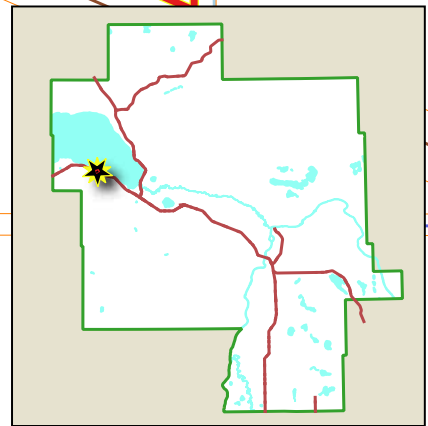
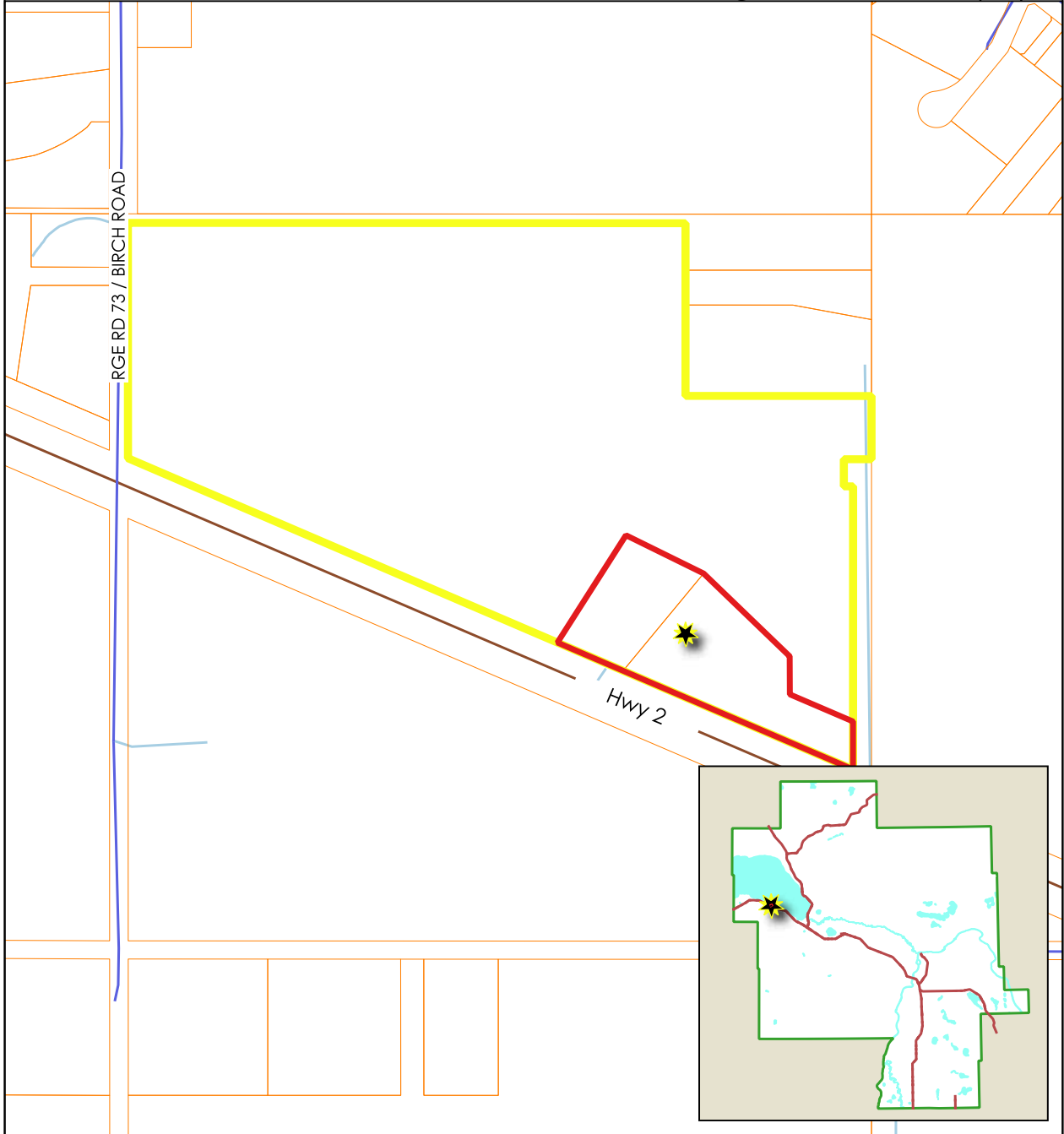
Date _____



Municipal District of
Lesser Slave River 124

Subdivision 24-S-05

Location - SW-27-73-7-W5
Zoning - Urban Reserve (UR)



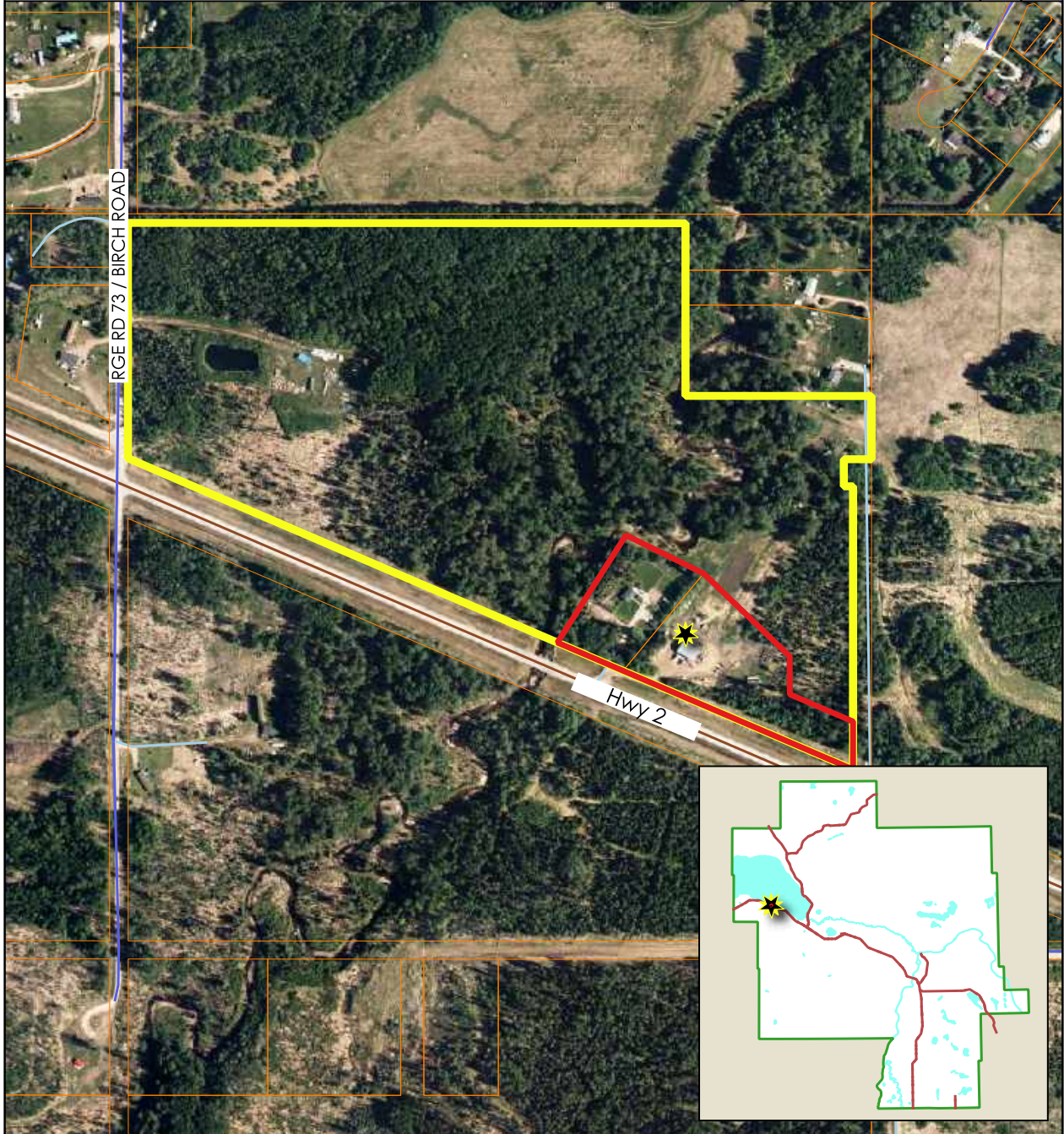
<p>LEGEND</p> <ul style="list-style-type: none"> Subject Property Cadastre MD Boundary 	<p>M.D. of Lesser Slave River 124 makes no representations or warranties regarding the information contained in this document, including, without limitation, whether said information is accurate or complete. Person using this document do so solely at their own risk and M.D. of Lesser Slave River 124 shall have no liability to such persons for any loss or damage whatsoever.</p> <p>This document shall not be copied or distributed to any person without the express written consent of M.D. of Lesser Slave River 124.</p> <p>©2024 M.D. of Lesser Slave River 124. All Rights Reserved.</p>	<p>0 75 150 m </p> <p>Scale - 1 : 6,000</p> <p>Map Print Date : July 04, 2024</p>
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Municipal District of
Lesser Slave River 124

Subdivision 24-S-05

Location - SW-27-73-7-W5
Zoning - Urban Reserve (UR)



LEGEND

- Subject Property
- Cadastre
- MD Boundary

M.D. of Lesser Slave River 124 makes no representations or warranties regarding the information contained in this document, including, without limitation, whether said information is accurate or complete. Person using this document do so solely at their own risk and M.D. of Lesser Slave River 124 shall have no liability to such persons for any loss or damage whatsoever.

This document shall not be copied or distributed to any person without the express written consent of M.D. of Lesser Slave River 124.

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0 75 150 m

Scale - 1 : 6,000

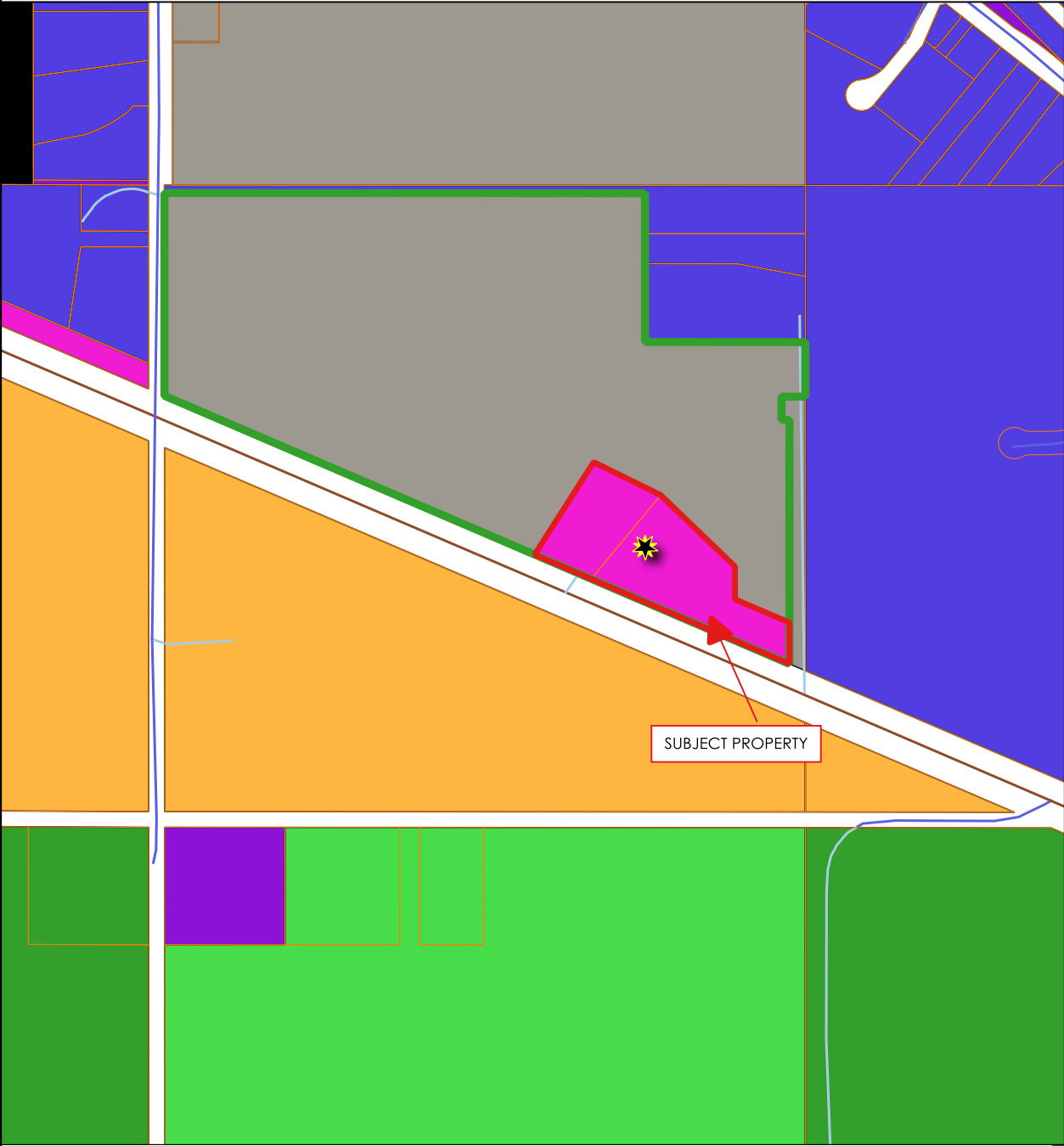
Map Print Date : July 04, 2024



Municipal District of Lesser Slave River 124

Subdivision 24-S-05

Location - SW-27-73-7-W5



SUBJECT PROPERTY

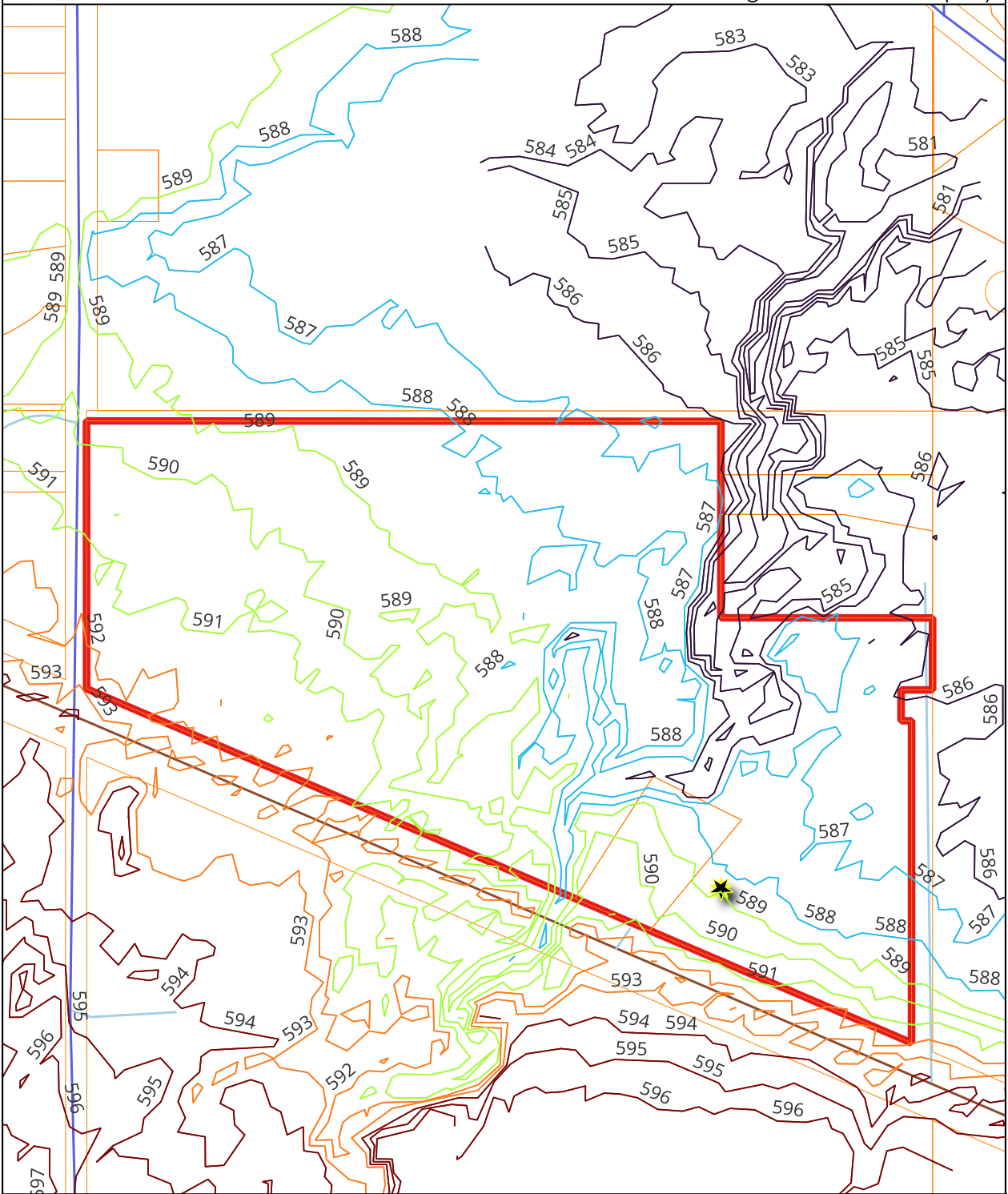
Agricultural District (A)	Direct Control District (DC)	Residential Un-Serviced District (RUS)
Community Facilities District (CF)	Light Industrial District (LI)	Urban Reserve District (UR)
Crown Land District (CL)	Residential Serviced District (RS)	



Municipal District of
Lesser Slave River 124

Subdivision 24-S-05

Location - SW-27-73-7-W5
Zoning - Urban Reserve (UR)



The numbers represents Elevation above Mean Sea Level in metrs



Lesser Slave River

Municipal Planning Commission

Subject:	Subdivision Application - First Parcel Out
Date:	7/16/2024
Presented By:	Samantha Dyck
Attachments:	<i>Application, Tentative plan, Site Photos, Maps</i>
File Number	24-S-06
Land Use District	Agricultural (A)
Community:	Flatbush Area
Legal Location	SW-19-65-26-W4M
Applicant:	Jamie & Susan Mulrooney
Landowner(s):	Richard & Judy McKnight

BACKGROUND:

The application is for the first parcel out of the quarter section. The proposed subdivision is for a +/- 10.00 ac parcel. The property is located in the Flatbush area close to Duck Lake along Range Road 270. There is a residence on the southwest corner of the quarter section which is serviced by a private water well and a septic field. There are additional outbuildings in the residential yard site. For the new parcel, the applicant will be required to construct an access as well as put in services to the lot.

This is property is zoned as Agricultural (a) District and the portion to be subdivided is currently undergoing a Land Use Amendment to rezone to Residential Un-Serviced (RUS) District. This rezoning is required due to the parcel being subdivided being less than the required size for the Agricultural District. This bylaw received second reading on July 10, 2024.

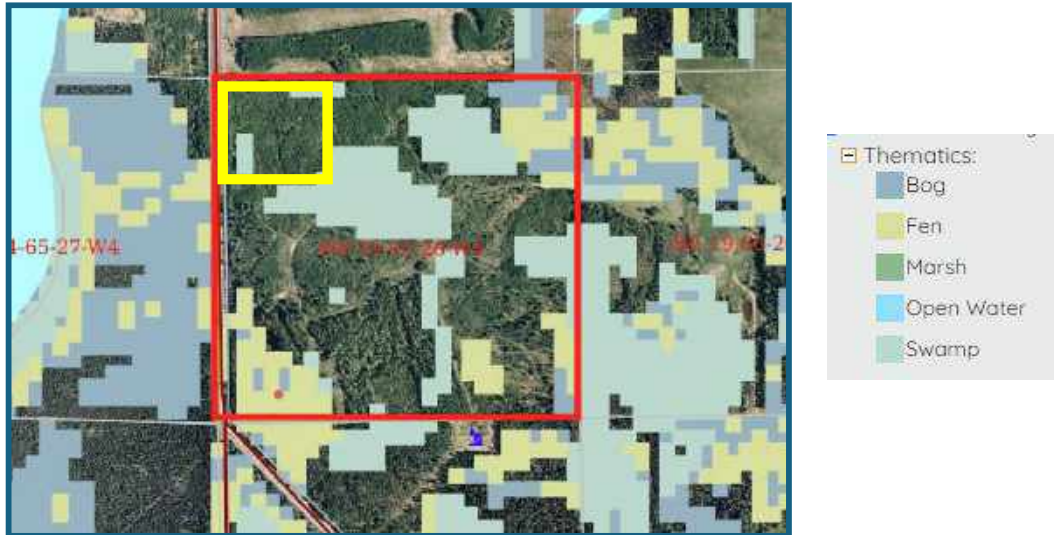
SITE ANALYSIS:

Existing Parcel Area SW-19	64.28 ha	158.96 ac
New Parcel Area Lot 1	+/- 4.047 ha	+/- 10.0 ac
New Parcel Area SW-19	+/- 60.23 ha	+/- 148.96 ac

Servicing Type: Septic Field and water well
Soil type: Classification – 0; Orthic Gray Luvisol; Moderately fine textured: sand clay loam, clay loam and silty clay loam;
Topography: U1h - undulating - high relief. Gentle uphill slope towards the back of the property to be subdivided
Farmland inventory: 3H(9) - 5W(1) Moderate- Inadequate heat units for the optimal growth over 90% of parcel – Very Severe – Soils in which excess water (not due to inundation) limits the production for 10% of the property.

Flood risk: No data available

Wetland inventory:



RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:

Matters Related to Subdivision and Development Regulation

Section 9 Relevant Considerations

In making a decision as to whether to approve an application for subdivision, the subdivision authority must consider, with respect to the land that is the subject of the application:

- (a) its topography,
- (b) its soil characteristics,
- (c) storm water collection and disposal,
- (d) any potential for the flooding, subsidence or erosion of the land,
- (e) its accessibility to a road,
- (f) the availability and adequacy of a water supply, sewage disposal system and solid waste disposal,
- (g) in the case of land not serviced by a licensed water distribution and wastewater collection system, whether the proposed subdivision boundaries, lot sizes and building sites comply with the requirements of the Private Sewage Disposal Systems Regulation (AR 229/97) in respect of lot size and distances between property lines, buildings, water sources and private sewage disposal systems as identified in section 6(4)(b) and (c),
- (h) the use of land in the vicinity of the land that is the subject of the application, and
- (i) any other matters that it considers necessary to determine whether the land that is the subject of the application is suitable for the purpose for which the subdivision is intended.

Section 10 Reasons for Decision

The written decision of a subdivision authority provided under section 656 of the Act must include the reasons for decision, including an indication of how the subdivision authority has considered (a) any submissions made to it by the adjacent landowners, (b) the matters listed in section 9. Matters Related to Subdivision and Development Regulation

Municipal Development Plan

Policy 6.0

Agriculture is a significant land use in the southerly portion of the MD. In this area, the protection of agricultural operations and minimizing the conversion of agricultural lands to non-agricultural uses is a priority.

Objectives include: To protect and retain productive agricultural lands; and to protect agricultural operations from incompatible non-agricultural uses.

Policy 6.1.3 Minimization of Fragmentation

Where agricultural land is dedicated for roads, rail lines, pipelines, and transmission lines, the MD should endorse only those proposals which minimize the fragmentation of agricultural land.

While this property is zoned as Agricultural, the “Ag” use is for cattle not producing crops. The parcel being subdivided out will not affect the landowner’s ability to continue with his use.

Policy 6.1.4 Subdivision of Agricultural Land

The subdivision of land in the Agriculture Area may be approved in the following circumstance ... (c) the subdivision of a maximum of two lots from the original unsubdivided quarter section for residential, recreational, or rural industrial purposes.

The proposed subdivision is the first parcel out and meets the requirements for a residential parcel.

Policy 6.1.6 Residential Parcel Size

The maximum size of a subdivided parcel described in Policy 6.1.4 should generally be 2.0 hectares. However, the size may be increased to include dwellings or other improvements, such as power supply, well, sewage disposal systems, access, shelter belts, and accessory buildings.

The proposed parcel is 4.047 ha (10.0 ac) which is larger than the allowed maximum under this section. As there are no developments on this area, there is no reason to allow for a subdivision larger than 2.0 ha other than that is what the applicant wishes to have.

Policy 6.1.8 Location of Vacant Residential Parcel

The MD shall only approve a vacant residential parcel where the location of the parcel and its residential land use will minimize the impacts on environmental features, and the agricultural use of the balance of the quarter section on adjoining lands.

The location of the subdivision is at the corner of the quarter section along RGE RD 270. There are no water features that will be impacted by this application.

Policy 6.4.4 Road Access Required

All subdivision and development proposals shall have access to developed roads. The provision of roads associated with a proposed subdivision or development are the sole responsibility of the developer. This includes the:

- (a) Construction of internal subdivision roads;*
- (b) Upgrading of intersections or adjacent municipal roads if deemed necessary through a traffic impact assessment...;*
- (c) Provision of approaches to individual lots or development sites...*

The applicant is required to construct an access to the parcel from RGE RD 270 to the MDLSR Municipal Servicing Standards.

Policy 6.5.7 Compliance of Existing Systems

When a lot containing an existing house is to be subdivided from a larger parcel, the MD shall determine if the setbacks for the existing sewer system comply with the Alberta Private Sewage Systems Standard of Practice. If it is determined the system is not compliant as a result of subdivision, relocation or upgrading of the system shall be identified as a condition of subdivision approval.

The remainder of the quarter section contains the current residence and existing sewer and water systems. As such, the Plan of Subdivision will be required to show the buildings, septic and water locations for registration.

Policy 6.6.1 Municipal Reserves (MR)

Shall not be required for subdivisions located in the Agricultural Area.

Land Use Bylaw

Section 7.3.1 The purpose of the Agricultural District is to provide opportunities for current and sustainable primary production and secondary processing of agricultural commodities and services through a wide and diverse range of agricultural related uses, while also providing opportunities for innovative use of land to support community resiliency.

Section 7.3.4 Development regulations for development in the Agricultural (A) District:

REGULATION	PROVISION
1	Parcel Area (minimum) 10.0 ha (24.7-ac)
2	Parcel Width (minimum) 7.5 m (24.6 ft)
3	Site Coverage (maximum) Twenty percent (20%)
4	Front Yard Setback (minimum) 20 m (65.6 ft)
5	Rear Yard Setback (minimum) 15 m (49.2 ft)
6	Side Yard Setback (minimum) 7.5 m (24.6 ft)
7	Height (maximum) – for dwellings 10.6 m (34.8 ft)
<p>*NOTE: REFER TO SECTION 8.2 FOR SETBACKS FROM OTHER ROADS REFERENCE SECTIONS 8, 9 AND 10 FOR OTHER APPLICABLE REGULATIONS.</p>	

Section 7.3.7 The maximum number of lots allowed to be subdivided from a quarter section in the Agricultural (A) district shall be four (4), including the remnant.

Section 7.3.9 Three (3) of the four (4) lots may be subdivided and redistricted from the quarter section in accordance with the subdivision regulations of other district(s), if the following requirements are met: The location of the subdivided lots should be on lands that are generally not suitable for agricultural production; and As part of the subdivision process, the redistricting of the lots to the appropriate district shall also occur concurrently if the lot is less than 10 ha in size. The subdivision approval shall be issued following the appeal period of the redistricting.

Section 7.3.10 All subdivided lots shall have direct access from an existing public road or a road allowance.

As this is the first parcel to be subdivided from the quarter and is abutting Range Road 270, the proposed subdivision meets the requirements for the Agricultural District regulations.

SUBDIVISION:

Section 11.12.1 The Subdivision Authority for the MD must receive, consider, and make decisions on all subdivision applications.

Section 11.12.2 The Subdivision Authority shall assess subdivision applications based on Section 653.1 of the MGA and the regulations in this Bylaw.

Section 11.12.3 In making a decision, the Subdivision Authority may:

- a) approve an application with conditions;*
- b) refuse the application; or*
- c) if the applicant fails to submit all the outstanding information and documents on or before the date referred in notification to the applicant of an incomplete application, the application is deemed to be refused.*

Section 11.12.4 No subdivision application shall be permitted within a floodplain where the area cannot accommodate for a dwelling and its supporting water and wastewater services.

Section 11.12.5 If the Subdivision Authority refuses an application as outlined in subsection 11.12.3, reasons for the Subdivision Authority's decision must be provided in writing.

Section 11.12.6 The Subdivision Authority may impose conditions considered appropriate for the development and as provided for in the MGA, the Regulation or in this Bylaw on a subdivision approval.

Section 11.12.7 A subdivision application that creates a new lot or boundary adjustment where an existing dwelling or other activity that requires on-site servicing shall not be approved unless the Subdivision Authority is satisfied that it can be demonstrated that sanitary servicing can be adequately provided on-site.

Section 11.12.8 A subdivision application that creates a new lot or boundary adjustment where an existing dwelling or other activity requires on site water supplies of sufficient quality and quantity are available to support the existing and proposed future development on the new lot.

Section 11.12.9 A subdivision application shall not be approved unless the Subdivision Authority is satisfied with the management of stormwater and can meet the MD's Municipal Servicing Standards.

Section 11.12.12 For the purpose of this Bylaw, an unsubdivided quarter section includes quarter sections where a portion of the land has been subdivided for a public utility, a railroad, or a community use (such as a ski field or protection of a creek, and a separate title exists.

[The proposed subdivision meets the requirements of Section 11 of the Land Use Bylaw.](#)

BENEFIT/RISKS:

There is little risk to the MDLSR with this subdivision and the benefit is that this subdivision allows for another residence to be built, building the tax base.

FINANCIAL IMPLICATION:

As this is a first parcel out, the applicant will bear the cost of servicing the property and constructing an access to MDLSR Standards

PUBLIC ENGAGEMENT LEVEL/REFERRALS:

Adjacent Landowners No comments received by deadline.

Alberta Energy Regulator No comments received.

Alberta Environment No comments received.

Alberta Forestry & Parks No comments received.

Alberta Power Ltd. No comments or concerns

Alberta Transportation No comments received.

Alta Link Management Ltd No comments received.

Aspen View Public School Division No. 78 No comments received.

Atco Electric No comments or concerns

Atco Gas No comments or concerns

Athabasca Public Health Inspector No comments received.

Firehall - Slave Lake No concerns with the application.

MD Field Services – Transportation An approach is required to be built to access the new property.

MD Field Services – Utilities No concerns with the application.

Pembina River Natural Gas Co-op Ltd No comments received.

Public Lands & Forestry No comments received.

Telus Communications No comments or concerns.

Wild Rose Rural Electrification Association Ltd. No comments received.

RECOMMENDATION:

That the Subdivision Authority approve the proposed Subdivision Application 24-S-06 as shown on the Tentative Plan of Subdivision, as the application:

- addresses the relevant considerations listed in Section 9 of the Matters Related to Subdivision and Development Regulation; and
- received no written comments of opposition from adjacent landowners; and
- complies with the Municipal Development Plan (Bylaw 2012-09) and with the Land Use Bylaw 2021-17.

RECOMMENDED MOTION:

That the Municipal Planning Commission APPROVE Subdivision Application 24-S-06 for a First Parcel Out with the following conditions:

- a. That prior to the endorsement the registered owner and/or developer enter into and comply with the terms and conditions of a development agreement with the Municipal District of Lesser Slave River pursuant to Section 655 of the Municipal Government Act, which the development agreement may be registered by way of caveat against the subject title. This Development Agreement may include provisions for electricity, gas, and access approaches to the appropriate lots.
- b. Prior to endorsement of this plan, approaches to both parcels shall be constructed at the owner's and/or developer's expense and to the specifications and satisfaction of the Municipal District of Lesser Slave River No. 124 Transportation Department.
- c. Pursuant to the Subdivision and Development Regulation, the applicant confirms that the existing sewage disposal system is in compliance with the Alberta Private Sewage Systems Standard of Practice 2015 and amendments thereto. Should the existing system not be in compliance a new or modified system must be installed.
- d. Prior to endorsement of an instrument affecting this plan, the landowner pays an off-site levy of \$200 to the Municipal District of Lesser Slave River in accordance with the Municipal District's policies and bylaws.
- e. That land taxes are fully paid prior to final approval (endorsement) of this instrument effecting the subdivision is requested.
- f. This conditional subdivision approval is valid for one year. If the developer cannot complete the conditions in this time frame, the developer shall apply for a subdivision time extension.

NOTES FOR INFORMATION PURPOSES ONLY: (These are not conditions of approval)

The subdivision is being approved because the land that is proposed to be subdivided is, in the opinion of the Subdivision Authority, suitable for the purpose for which the subdivision is intended, and the proposal is considered by the Subdivision Authority to conform with the provisions of the Municipality's Development Plan, and Land Use Bylaw. The matters listed in Section 9 through 20 of the Matters Related to Subdivision and Development Regulation and any submission made by adjacent property owners were considered with care.

The following information is provided as required by Section 656(2)(a) of the Municipal Government Act. Any appeal of this decision lies to the Land and Property Rights Tribunal pursuant to section 678(2) of the Act.

Please note your next step is to contact an Alberta Land Surveyor and obtain your survey so we may proceed with the Development Agreement.

ALTERNATIVE MOTION:

1. That the Municipal Planning Commission REFUSE Subdivision Application for a First Parcel Out due to the following reasons:
 - a)(*Please give reasons why you are refusing this application.*)
2. The Municipal Planning Commission may table subdivision application, 24-S-06, to the next regular meeting or until additional information is received. Administration does not

recommend this option as the applicant has provided all information required to provide a decision.

Prepared By: Samantha Dyck, Planning & Development Officer

Reviewed By: Ann Holden, Planning & Development Officer

Approved By: Rudolf Liebenberg, Director Planning, Utilities, & Protective Services

Site Inspection – Subdivision Application 24-S-06

First Parcel Out SW-19-65-26-W4M



The fence line shown here is the north boundary of the proposed subdivision. An access with culvert will have to be installed.



AGENDA ITEM #5.4



The property is well-treed with a cleared property line and trails within.



AGENDA ITEM #5.4



The soil is loamy and drains well. With the slope of the land higher at the rear, the water will flow forward to



While this photo shows standing water, this is a small puddle and not indicative of the drainage of the entire property.



Pictures of the trails created within the property and showing how treed the parcel is.



Pictures of the house site on the quarter section.

Small shed on the east side of the yard site. Cabin shown with wrap around deck



AGENDA ITEM #5.4

← The septic system is located in this direction on the north side of the residence.



← Propane tank which is used for the residence.

Water well that supplies
→ water to the site





Small bunkie/mancave to rear and south side of the residence.
Fire pit area



Lesser Slave River
 Planning & Development

SUBDIVISION APPLICATION

Application No.:

This form is to be completed in full wherever applicable by the registered owner of the land that is subject of the application or by a person authorized to act on the registered owner's behalf.

Form Received:

APPLICANT NAME *(Authorized person acting on registered owner's behalf):*
 [REDACTED]

POSTAL ADDRESS: [REDACTED] **POSTAL CODE:** [REDACTED]

HOME NUMBER: [REDACTED] **CELL NUMBER:** [REDACTED] **E-MAIL ADDRESS:** [REDACTED]

Complete if different from applicant:

REGISTERED LANDOWNER NAME: [REDACTED]

POSTAL ADDRESS: [REDACTED] **POSTAL CODE:** [REDACTED]

HOME NUMBER: [REDACTED] **CELL NUMBER:** [REDACTED] **E-MAIL ADDRESS:** [REDACTED]

LEGAL LAND LOCATION *(All or part of the following land to be subdivided):*

SW	19	65	26	4-4	OR			
Quarter	Section	Township	Range	Meridian		Lot	Block	Plan

TOTAL NUMBER OF: **MUNICIPAL ADDRESS** *(if applicable):*

160 OR 658 001 RR 270
 Acres Hectares

Is The Land Situated Immediately Adjacent to the Municipal Boundary? Yes No

If yes, municipality name:

Is The Land Situated Within 0.8 Kilometres of the Right of Way of a Highway? Yes No

If yes, Highway #:

Does The Proposed Parcel Contain or is it Bounded By A River, Stream, Lake or Other Body of Water or by a Drainage Ditch or Canal? Yes No

If yes, name:

Is the Proposed Parcel Within 1.5 km of a Sour Gas Facility? Yes No

If yes, name:



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | SECTION 2

Application No.:

EXISTING USE AND PROPOSED USE OF LAND TO BE SUBDIVIDED:

Describe the Existing Use of the Land:
Agriculture & residential

Describe the Proposed Use of the Land:
Agriculture & residential (remnant), residential (new lot)

What is the designated Use of the Land as Classified Under a Land Use Bylaw:
Agriculture (A)

PHYSICAL CHARACTERISTICS OF LAND TO BE SUBDIVIDED:

Describe the Nature of the Topography of the Land (Flat, Rolling, Steep, Mixed):
Gentle sloping

Describe the Nature of the Vegetation and Water on the Land (Brush, Shrubs, Tree Stands, Woodlots, Sloughs, Creeks, etc.):
Treed, meadows, farmstead

Describe the Type of Soil on the Land (Sandy, Loam, Clay, etc.):
Grey wooded, sandy, rocky

EXISTING BUILDINGS ON LAND TO BE SUBDIVIDED:

Describe any Buildings, Historical or Otherwise, and any Structures on the Land and Whether they are to be Demolished or Moved.
Dwelling, shop (to stay)

WATER AND SEWER SERVICES:

If the proposed subdivision is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal:
well, pump-out

I, _____ HEREBY CERTIFY THAT I AM THE REGISTERED OWNER OR AM AUTHORIZED TO ACT ON BEHALF OF THE REGISTERED OWNER AND THAT THE INFORMATION GIVEN ON THIS FORM IS FULL AND COMPLETE AND IS, TO THE BEST OF MY KNOWLEDGE, A TRUE STATEMENT OF THE FACTS RELATING TO HIS/HER APPLICATION FOR SUBDIVISION APPROVAL.
NOTE: If the signature is not that of the registered owner, it must be signed by a person authorized by the registered owner and must be verified by the registered owner.



April 5/24
Date
April 3/24
Date



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | SITE PLAN



Attached

Note: The location sketch must be completed. Please indicate the following items on the sketch: access/approaches, set backs, water bodies, right of ways. Should the space provided be insufficient when answering any of the above questions, please attach a list of additional information.

LEGAL LAND DESCRIPTION:

<i>Sw</i>	<i>19</i>	<i>65</i>	<i>26</i>	<i>W4</i>	CR			
Quarter	Section	Township	Range	Meridian		Lot	Block	Plan



Date *Apr. 11/5/24*



Lesser Slave River
Planning & Development

SUBDIVISION APPLICATION | RIGHT OF ENTRY

Please complete the following right-of-entry form and include it with your Development Permit Application.

Right of Entry for an Authorized Person of the Municipal District of Lesser Slave River No. 124 for the Purposes of a Site Inspection of the Land Affected by the Proposed Subdivision Application.

I DO

I DO NOT

give consent for an authorized person of the Municipal District of Lesser Slave River No. 124 to enter upon the land that is subject to the application for the purposes of making a site inspection in order to evaluate the proposed application and monitor its compliance.

LAND LOCATION:

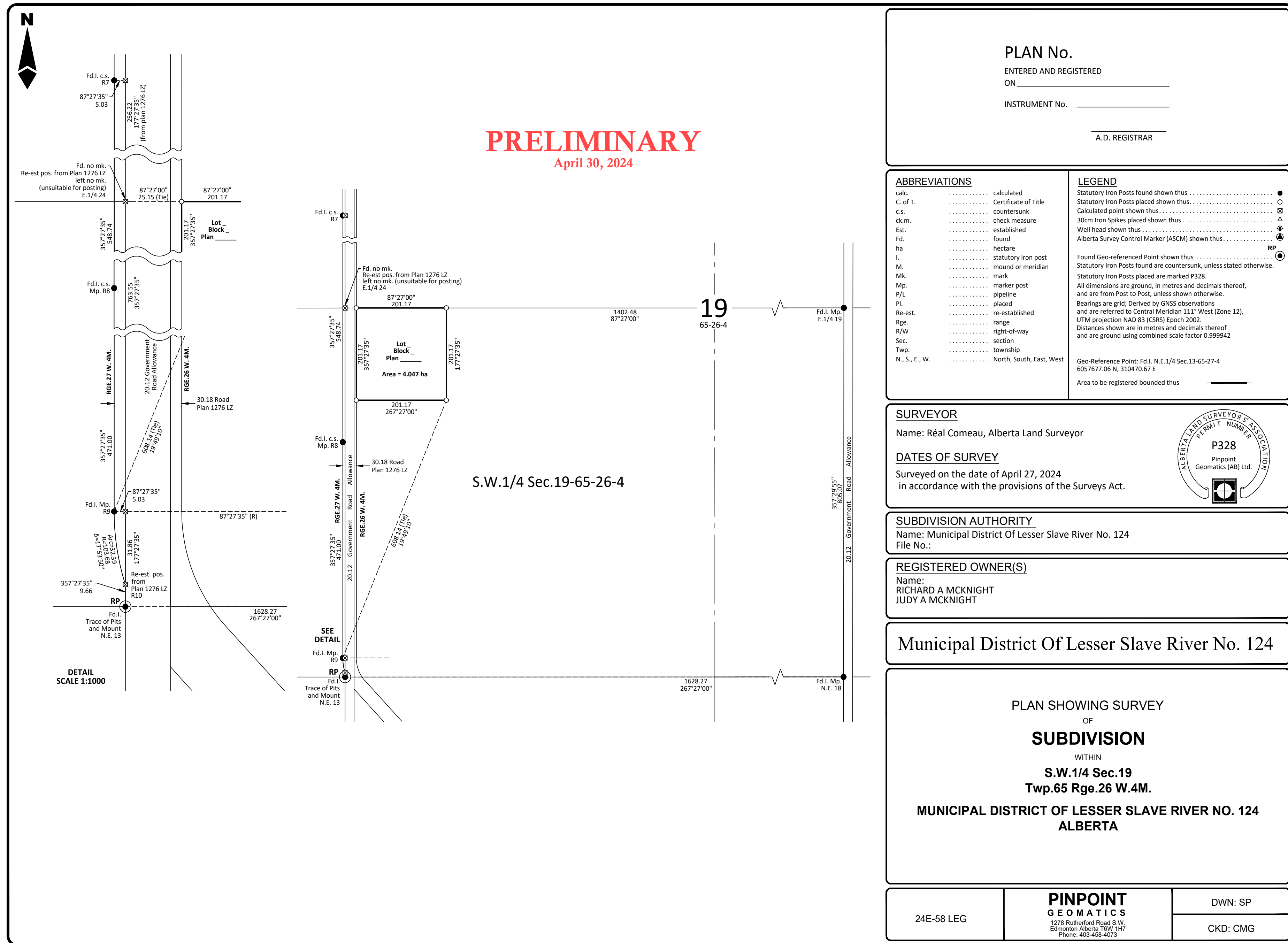
Quarter Section Township Range Meridian Lot Block Plan



OR

April 15/24

Date



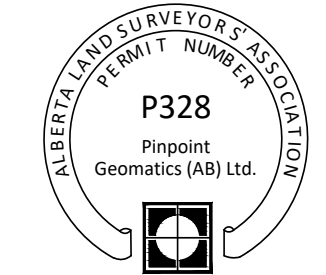
PLAN No. _____
 ENTERED AND REGISTERED
 ON _____
 INSTRUMENT No. _____

 A.D. REGISTRAR

ABBREVIATIONS	LEGEND
calc. calculated	Statutory Iron Posts found shown thus ●
C. of T. Certificate of Title	Statutory Iron Posts placed shown thus ○
c.s. countersunk	Calculated point shown thus ⊠
ck.m. check measure	30cm Iron Spikes placed shown thus ⊕
Est. established	Well head shown thus ⊕
F.d. found	Alberta Survey Control Marker (ASCM) shown thus ⊕
ha hectare	RP
L. statutory iron post	Found Geo-referenced Point shown thus ●
M. mound or meridian	Statutory Iron Posts found are countersunk, unless stated otherwise.
Mk. mark	Statutory Iron Posts placed are marked P328.
Mp. marker post	All dimensions are ground, in metres and decimals thereof, and are from Post to Post, unless shown otherwise.
P/L pipeline	Bearings are grid; Derived by GNSS observations and are referred to Central Meridian 111° West (Zone 12), UTM projection NAD 83 (CSRS) Epoch 2002.
Pl. placed	Distances shown are in metres and decimals thereof and are ground using combined scale factor 0.999942
Re-est. re-established	Geo-Reference Point: Fd. l. N.E.1/4 Sec.13-65-27-4 605.767706 N, 310470.67 E
Rge. range	Area to be registered bounded thus ————
R/W right-of-way	
Sec. section	
Twp. township	
N., S., E., W. North, South, East, West	

SURVEYOR
 Name: Réal Comeau, Alberta Land Surveyor

DATES OF SURVEY
 Surveyed on the date of April 27, 2024
 in accordance with the provisions of the Surveys Act.



SUBDIVISION AUTHORITY
 Name: Municipal District Of Lesser Slave River No. 124
 File No.:

REGISTERED OWNER(S)
 Name:
 RICHARD A MCKNIGHT
 JUDY A MCKNIGHT

Municipal District Of Lesser Slave River No. 124

PLAN SHOWING SURVEY
 OF
SUBDIVISION
 WITHIN
S.W.1/4 Sec.19
Twp.65 Rge.26 W.4M.
MUNICIPAL DISTRICT OF LESSER SLAVE RIVER NO. 124
ALBERTA

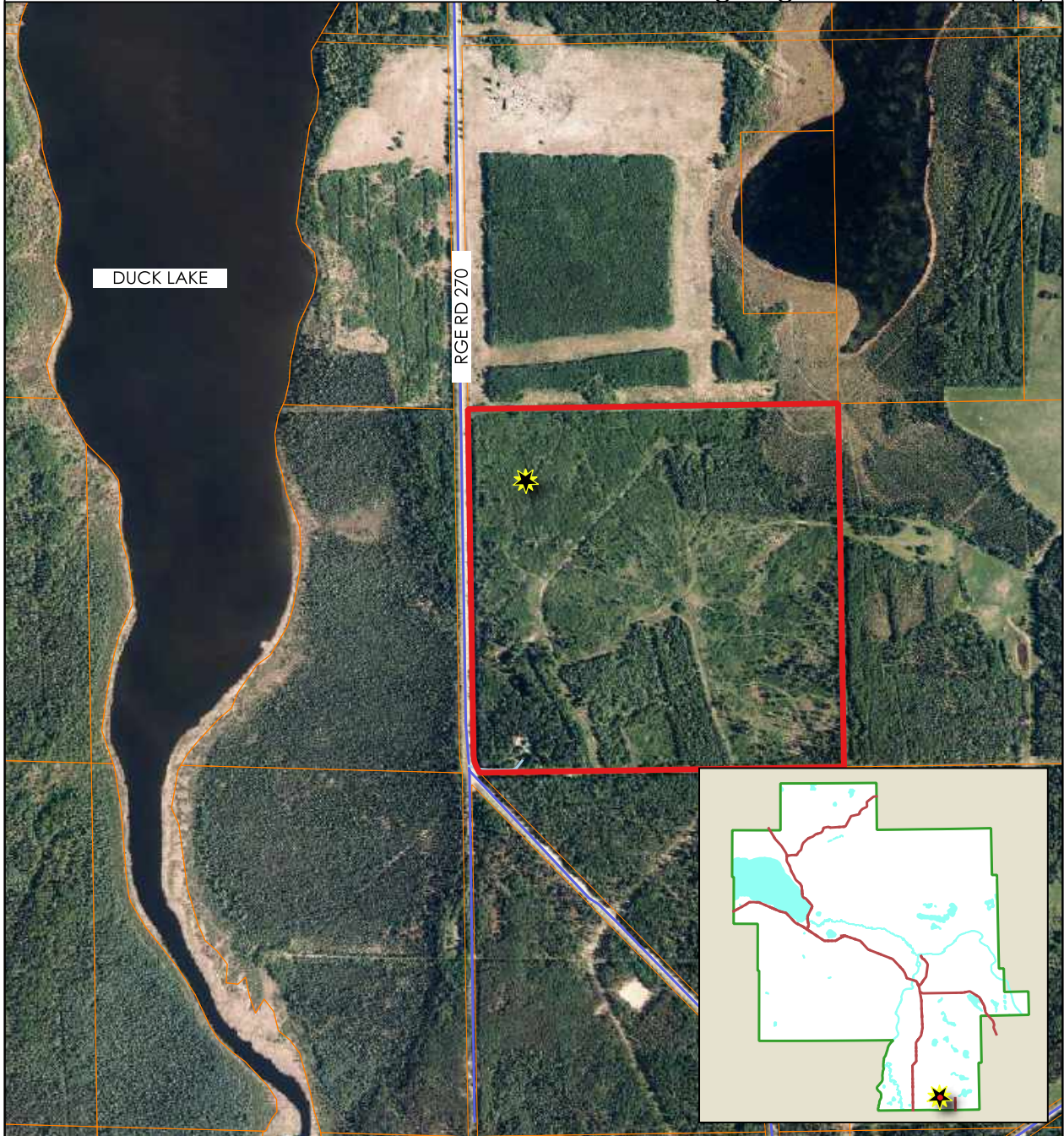
24E-58 LEG	PINPOINT GEOMATICS 1278 Rutherford Road S.W. Edmonton Alberta T6W 1W7 Phone: 403-458-4073	DWN: SP CKD: CMG
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Municipal District of
Lesser Slave River 124

Subdivision 24-S-06

Location - SW-19-65-26-W4
Zoning - Agricultural District (A)



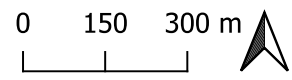
LEGEND

- Subject Property
- Cadastre
- MD_Boundary

M.D. of Lesser Slave River 124 makes no representations or warranties regarding the information contained in this document, including, without limitation, whether said information is accurate or complete. Person using this document do so solely at their own risk and M.D. of Lesser Slave River 124 shall have no liability to such persons for any loss or damage whatsoever.

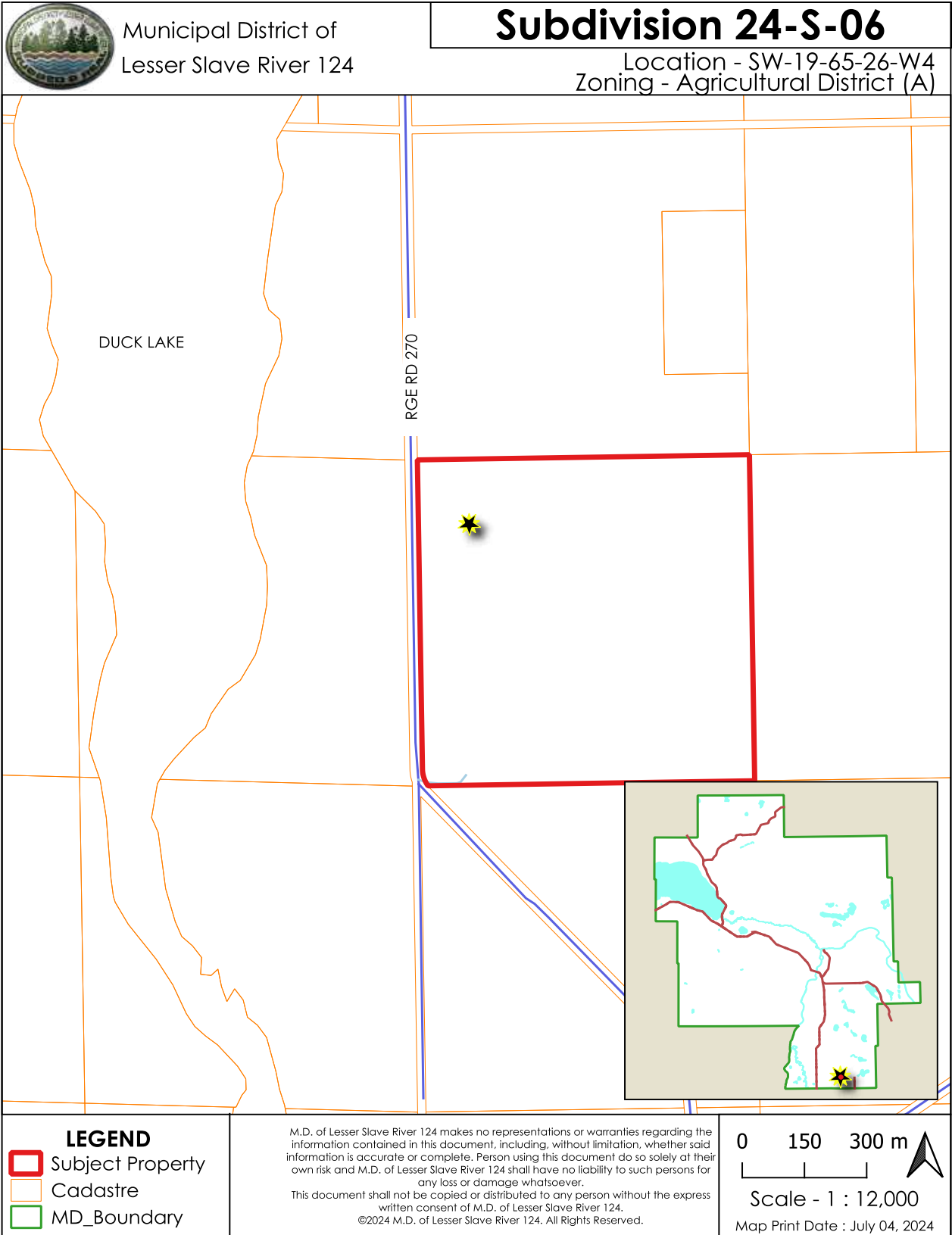
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Scale - 1 : 12,000

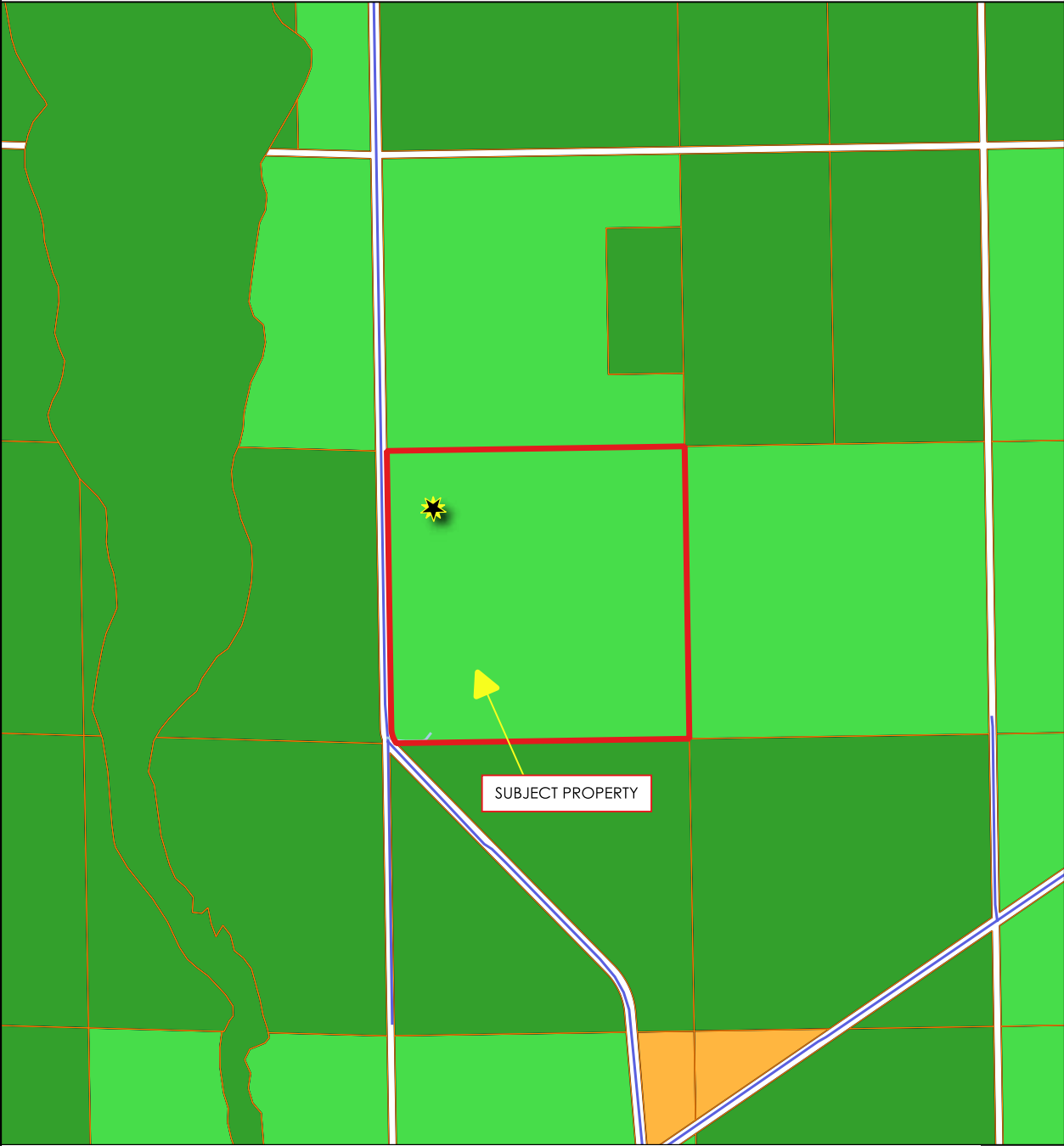
Map Print Date : July 04, 2024





Municipal District of
Lesser Slave River 124

Subdivision 24-S-06
Location - SW-19-65-26-W4



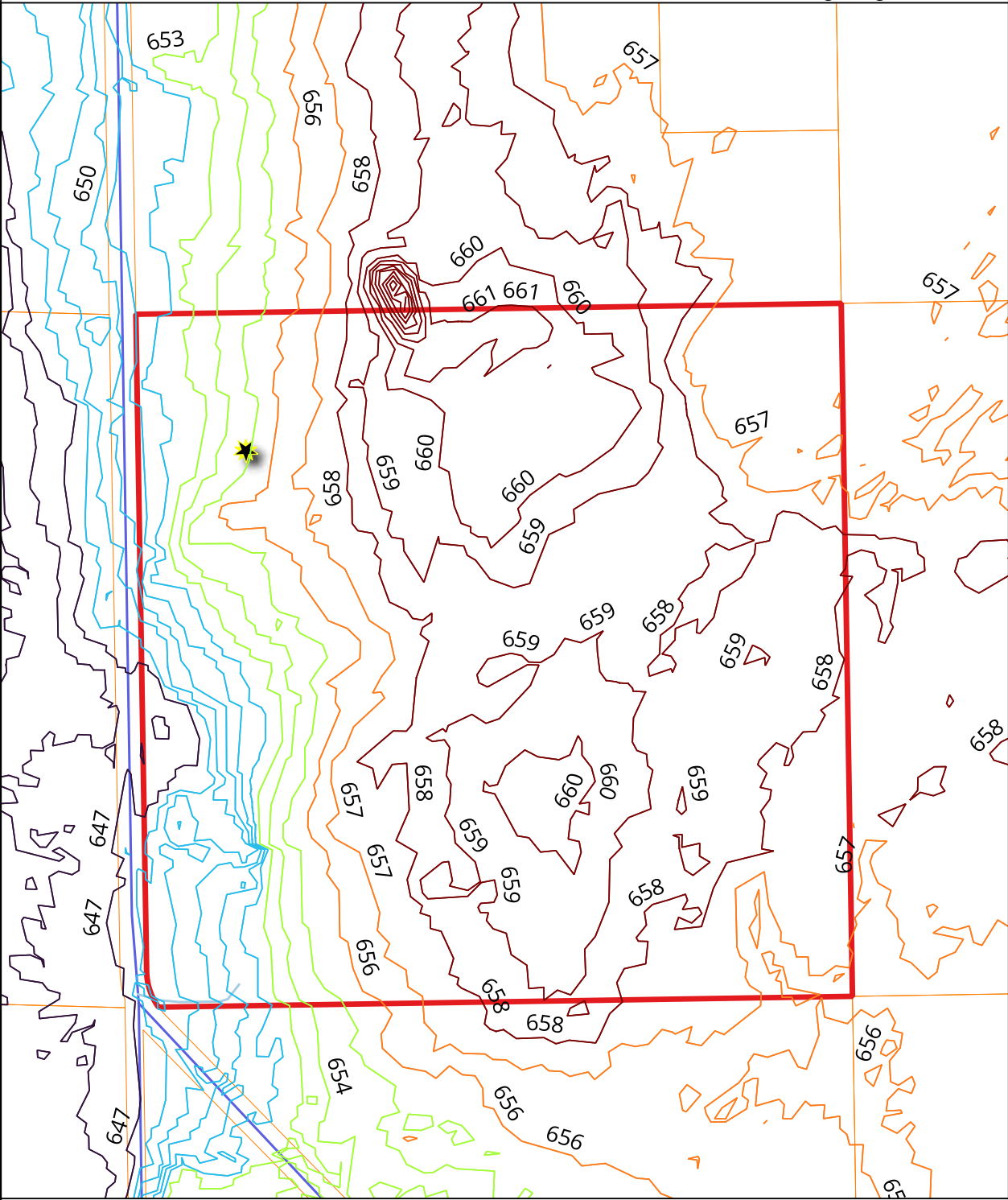
landuse		
Agricultural District (A)	Community Facilities District (CF)	Heavy Industrial District (HI)
Crown Land District (CL)	Direct Control District (DC)	Residential Un-Serviced District (RUS)
Commercial District (C)		



Municipal District of
Lesser Slave River 124

Subdivision 24-S-06

Location - SW-19-65-26-W4
Zoning - Agricultural



The numbers represents Elevation above Mean Sea Level in metrs